

APPEAL 4472 OF 2015 EVERY BODIES PHYSIO PTY LTD

Objective Reference: **A1198150**
Reports and Attachments (Archives)

Attachment: [Attachment 1 - Aerial Map](#)
[Attachment 2 – Car Parking Plans](#)
[Attachment 3 - Commercial Vacancy Analysis](#)
[Attachment 4 - Conditions](#)
[Attachment 5 - Proposed Plans](#)

Authorising Officer:



Louise Rusan
General Manager Community and Customer Services

Responsible Officer:

David Jeanes
Group Manager City Planning and Assessment

Report Author:

Brendan Mitchell
Planning Officer

PURPOSE

This appeal is referred to the General Meeting for Council to decide on its position in the appeal.

BACKGROUND

The proposed development that is the subject of appeal number 4472 of 2015, involving Every Bodies Physio, is located at 687-689 Old Cleveland Road East, Wellington Point. The relevant land is shown in **Attachment 1**.

Application Background

The Appellant applied for a Development Permit for a Health Care Centre and Refreshment Establishment. The application was presented to the General Meeting of Council on 4 November 2015 recommending a Preliminary Approval. Council resolved to issue a Preliminary Approval with the suitability of the use within the Local Centre Zone and car parking identified as the major outstanding issues to be resolved. The Appellant has since appealed the decision and has presented further information and an amended proposal to Council for consideration with a view to settling the appeal and obtaining a Development Permit.

The Preliminary Approval conditions were as follows:

1. Demonstrate that the development serves only a local catchment in accordance with Specific Outcome S1.2 of the Local Centre Zone Code. This can be achieved by reducing the Gross Floor Area of the proposal in accordance with the requirements of Probable Solution P1.2 1) b) iii) of the Local Centre Zone.

Advice: One way to achieve this requirement would be to reduce the floor area to meet Probable Solution P1.2 of the Local Centre Zone Code.

2. Demonstrate a reduction in the Site Cover of the proposal to maintain a suitable balance between the built and unbuilt areas of the site in accordance with S2.2 of the Local Centre Zone Code.

Advice: This can be achieved by complying with the Site Cover requirements identified under P2.2 of the Local Centre Code.

3. Demonstrate a reduction in the scale and size of the proposed Rehabilitation Gym tenancy to ensure that the overall development only serves the local catchment, in accordance with Specific Outcome S1.2 of the Local Centre Zone Code.

Advice: A reduction in the scale of the development can be achieved through compliance with the requirements of P1.2 1) b) iii) of the Local Centre Code.

4. Demonstrate that the proposal complies with Specific Outcome S1 of the Access and Parking Code by providing sufficient on-site car parking that:
 - a. is clearly defined, safe and easily accessible; and
 - b. takes into consideration:
 - i. the type and size of development;
 - ii. the expected employee and customer movements;
 - iii. the location of the use;
 - iv. the capacity of the existing road network to accommodate on street parking; and
 - v. access to public transport.

5. To address the above, provide a car parking demand study that clearly identifies the car parking demand generated by the proposed development and includes benchmarking of the proposed development with other similar developments to:

- a. clearly demonstrate that the estimated number of practitioners, employees and equivalent consulting rooms represents a reasonable and realistic number based on the proposed floor area;
- b. identify the peak and non-peak hours of the health care centre, and the car parking demand impacts of the proposed operating hours of the rehabilitation gym in this regard; and
- c. demonstrate the actual staff numbers and operational characteristics of the rehabilitation gym, and that there will be sufficient car parking on-site to accommodate the demand created by this part of the development.

6. Subject to Council assessment, amend the proposed development to provide the number of car-parks required as a consequence of the parking demand study above.

Appeal

The applicant did not accept the conditions imposed by Council on the Preliminary Approval and instead sought to challenge this decision through an appeal to the Planning and Environment Court. The appellant's Notice of Appeal included the following grounds of appeal:

- The Needs Assessment provided as part of their response to the Information Request adequately demonstrated that the proposed development will serve a local catchment and that the relevant Specific Outcome S1.2 does not state that the proposed development must 'only' serve a local catchment;
- The current proposal complies with the Specific Outcome S2.2 of the Local Centre Zone Code with regards to site coverage and that a requirement to reduce the scale of the proposal is considered not reasonable, relevant or lawful;
- The current proposal complies with the Probable Solution P1 of the Access and Parking Code with regards to car-parking and therefore complies with the Specific Outcome S1;
- There is no reasonable or lawful basis to grant a Preliminary Approval in place of a Development Permit.

The appellant has since provided Council with a further need assessment and amended plan with basement level car parking.

PROPOSAL

The proposal is for a Material Change of Use for a Health Care Centre and Refreshment Establishment, as per the following:

- Health Care Centre: 2 levels including various consulting rooms and services, including:

First Floor

- Rehabilitation gym: 534.3m²
- Physio & Podiatry: 295.6m²
- Doctor: 568m²
- Foyer/seating: 71.3m²

Second Floor

- Dentist: 255.7m²
- Skin Therapist: 159.5m²
- Radiologist: 234m²
- Orthopaedic: 280.4m²
- Lobby: 80.4m²

- Refreshment establishment: 35m² café located at the front north-west corner of the site, with outdoor seating provided.

ISSUES

Use in a Local Centre

The proposed use has a Gross Floor Area of 2,514.2m² that equates to a site cover of 61.4%. Probable Solution P1.2 1) b) iii) of the Local Centre Zone seeks for site cover not to exceed 50%. The preliminary approval has an advice for the development to be scaled down with this requirement in which the Appellant chose not to.

The corresponding Specific Outcome S1.2 (1) of the Local Centre Zone code specifies that local centres serve a local catchment providing opportunities for convenience shopping for day to day needs only. The Appellant has provided further information that they believe confirms that local centres can serve a wider catchment and still comply with the overall outcomes.

The Overall Outcomes for the Local Centre Zone state that uses and other development provide for a range of centre uses that:

- a. enhance and protect the primacy, vitality and vibrancy of the City's network of centres;
- b. serve a local catchment;
- c. provide local convenience shopping for day to day needs;
- d. provide for local employment opportunities;
- e. provide a focus for local community interaction and activity;
- f. are located, near schools, parkland and community facilities to form part of a local community node;
- g. are conveniently accessible to the catchment area they serve by private vehicles, public transport and pedestrian and cycle routes.

In this case points a, b and c are more relevant to determine whether the Overall outcomes outlined above are met or not.

Enhance and protect the primacy, vitality and vibrancy of the City's network of centres

The proposal is considered to enhance the City's network of centres by introducing the following new uses to the local catchment and, in some cases, wider catchment:

- Rehabilitation gym – first one located in Redland City, and will therefore provide both a local and broader community function. This use is not intended to be a stand-alone gym, and will be ancillary to the physio tenancy by providing a specialised recovery/remediation capacity.

- 3 Orthopaedic surgeons. There are none provided in the local area, and a shortage has been identified in the broader community, with the Mater providing the nearest services, resulting in patients having to travel outside of Redland City, therefore this specialised use will serve both a local and broader catchment.
- 2 skin therapists (dermatologists) are proposed, with none currently located in Redland City. Again, both a local and broader community need would be satisfied.
- A radiology practice with a MRI machine (one other MRI located in Redland City at Cleveland). A QML radiology practice is currently provided in the Horizon Centre, and it is expected that this will be one of the health care services that will relocate to the proposed centre. The radiology practice is expected to operate in conjunction with the rehabilitation function offered through the physio/rehab gym, and it is considered that the addition of an MRI machine will provide both a local and a broader community function.

The planning scheme seeks to protect the City's network of centres by typically seeking that local centres serve a local function and that typically, uses that draw clients' from a wider catchment than a local centre, should be located in a higher order centre such as a district centre. Consideration must therefore be given to whether this proposal would be in conflict with this principle.

Council, in considering the appellant's Notice of Appeal, has engaged a third party economic consultant (Norling Consulting) who has provided an analysis of the economic needs assessment provided as part of the application. The expert concludes that there is a need for the proposed specialty services in the local area, such as a rehabilitation gymnasium, orthopaedic surgeons, specialist dermatologist and radiology (with MRI machine). He also concludes that there is benefit in centralising these services within a single location in order to provide a more holistic approach to the provision of health care to the community.

Therefore, it is concluded that not only would the development enhance the existing centres network, but that there is sufficient demand for the proposed uses.

Despite this, it is acknowledged that the proposed uses may serve a wider catchment. However, as advised by the economic expert, the proposed uses address an undersupply of such services in the local area. As a result, availability of tenancies or land that could be developed in a district centre that could also serve the local community of the subject site needs to be investigated.

In determining local catchment boundaries of the proposal, the Appellant considered the following factors:

- Convenience and accessibility, including drive times and ease of parking;
- Natural and man-made barriers such as waterways, railway lines and highways;
- The number and operating hours of the general practitioners and dental surgeons within the Health Care Centre; and

- The size, strength and function of the proposed Health Care Centre.

The estimated main catchment for the Health Care Centre is bounded by Doug Tiller Reserve and Starkey Street to the east, Nelson Road and Belford Drive to the north, Tulloch Drive to the west, and McDonald Reserve to the south.

This represents the natural catchment for the subject development, from which a majority of the residents would reasonably be expected to gravitate towards the proposed development.

An inventory was undertaken in June 2015 to identify suitably zoned land and available premises within a 3km radius, which extends beyond the catchment area noted above. It is considered that 3km is a reasonable distance that is conveniently accessible to the subject site by private vehicles, public transport, pedestrian and cycle routes.

The inventory demonstrated that there are no contiguous vacancies on district centres within 3km radius of the subject site that could accommodate the proposed use of 2,514.2m² Gross Floor Area, (**Attachment 3**). The district centres that are located within 3km radius include:

- Alexandra Hills Shopping Centre located at 71 Cambridge Drive, Alexandra Hills with vacancy of 150m²; and
- Birkdale Village Shopping Centre located at 180 Birkdale Road, Birkdale with vacancy of 160m².

It is not known how much GLA will be allocated for the Health Care Facility. It is unlikely that the whole GLA will be allocated for one tenancy due to the design of the building. In any case the total GLA is not sufficient to cater for the proposed development. Consequently, it is concluded that the proposed development cannot be accommodated in a higher order centre that would sufficiently cater for local area need. Furthermore, it must be noted that the appellant's economic expert estimates that between 10-15% of the centre's customers would be from outside the local area.

The most significant potential impact upon the centre network is arguably upon the existing Horizon Shopping Centre which forms part of the local centre encompassing the appeal site.

Whilst the economic experts acknowledge there is potential for movement of health care professionals from the Horizon Shopping Centre to the proposed centre, they conclude that ongoing population growth in the area will ensure that the financial viability of the shopping centre in the medium to long term is not diminished.

The Appellant's supporting information also identifies that there is sufficient demand in the local catchment for other commercial and retail uses to locate within the Horizon centre. The report provides a list of potential new tenants based on kinds of commercial/retail uses commonly found in a local centre of this size and location.

Serve a local catchment

As noted above, the economic experts conclude there is sufficient need for the proposed uses in the local area. Also as noted, the appellant's economic expert estimates that between 10-15% of the centre's customers would be from outside the local area. It is therefore concluded that the proposal will generally serve a local catchment and any additional patronage would not be sufficient to give rise to adverse impacts upon the centres network or conflict with the intent of the planning scheme.

Provide local convenience shopping for day to day needs

The proposal provides for more than local convenience shopping for day to day needs. However, the existing Horizon shopping centre already adequately fulfils this service with the grocery store, bottle shop and other retail activities. The planning scheme does not preclude other uses from operating in the Local Centre Zone and it is considered that the proposal complements these existing uses whilst not detracting from their viability.

Scale (Design) of Development

Probable Solution P2.2 of the Local Centre Zone Code provides for site coverage to be 50 percent for developments of gross floor area (GFA) greater than 1200m². A site cover of 61.4% has been proposed. The preliminary approval had advice noting that the development would comply with the planning scheme if the if the site cover was decreased to meet the probable solution.

The applicant did not agree this and believes the proposal complies with Specific Outcome S1.2 specifies that site coverage maintains a balance between built and unbuilt areas of the site and contributes to a high quality urban centre design by:

- providing areas for service functions such as car parking; and
- providing adequate areas for landscaping and streetscape treatments.

In considering the original proposal the particular concern raised by Council was the GFA in relation to car parking provision. The Appellant has opted to maintain the proposed footprint of the development while providing additional underground car parking space. The proposal has now sufficient car parking as discussed in the car parking section of this report. The proposal has adequate areas for landscaping and streetscape treatment that includes deep planting and ground covers along the front boundary.

Car Parking

As part of the original application, 74 car parking spaces were proposed. Throughout the assessment and as a further condition of the Preliminary Approval, Council requested that the Appellant carry out a benchmarking study to ascertain a more accurate car parking number. The appellant, has chosen not to undertake this study but has proposed a new basement car parking level which increases the number of car parking spaces to 105 (additional 31 spaces) as shown in **Attachment 2**.

It is noted that all specialists (Orthopaedic, Physio & Podiatry) could refer all their clients to the gym and the client base could therefore potentially be higher. The economic experts agree that there is sufficient need for a rehab gym and that it is unlikely that the facility would become a standard type gym (Indoor Recreation facility) in the future. Accordingly, the number of car parking spaces required for an Indoor Recreation Facility in accordance with the relevant probable solution in the planning scheme is not entirely relevant in this regard.

As per the RPS Probable Solution P1 requirements of the Access and Parking Code 122 car parking spaces would be sought based on the listed use type. The breakdown is as follows:

Use	Probable Solution rate	Probable Solution	Proposed
Health Care Centre	1 space per employee/practitioner	22.8 equivalent staff = 23 spaces	23 spaces
	2 spaces per consulting room	20.8 x 2 = 42 spaces	42 spaces
Refreshment Establishment	1 space per 2.5 persons assessed on the maximum capacity of the refreshment establishment or 1 space per 10m ² whichever is the greater	Based on a 35m ² GFA = 4 spaces	4 spaces
Indoor Recreation Facility - Gym	1 space per 10m ² of GFA	Based on 534.3m ² of GFA = 53 spaces	35 spaces
	Total	122 spaces	104 Spaces

Compliance with the probable solution (with 122 spaces) is one way to comply with the intent of the code. However, as previously stated, the car parking rates for an Indoor Recreation Facility should not strictly apply to the rehabilitation gym and the risk is low for conversion to a standard gym given the need and demand for the proposed facility.

The Appellant has now proposed 105 car parking spaces of which 12 are tandem car parking spaces. The letter provided by Q Traffic Engineering Consultants confirms that tandem bays are proposed and would be allocated to staff and medical practitioners working on-site.

It is noted that car park number 23 could be impacted by the swept path of the service vehicle for the development. In this a case the total car parks proposed on the subject lot is considered to be 104.

The Appellant has confirmed that the number of clients of the rehabilitation gym would not be more than 15 at any one time. A condition will be in place to ensure compliance in regard to this matter. This will ensure that sufficient car parking is available for all uses on the site.

It is therefore considered that the 104 car parking numbers proposed by the appellant will be adequate for the anticipated clientele and meets the intent of Specific Outcome S1 of the Access and Parking Code

Conclusion

It is considered that the proposal has met the Overall Outcomes of the Local Centre Zone code by consolidating a range of health care professionals in one location without compromising the primacy, vitality and vibrancy of City's network of centres.

The revised car parking layout providing 104 spaces (31 additional spaces) is considered to be sufficient for the proposed use and satisfies the intent of the access and parking code.

In recommending that Council seek settlement of the appeal through a Consent Order of the Court, **Attachments 4** outlines the recommended conditions for a Consent Order.

STRATEGIC IMPLICATIONS

Legislative Requirements

Nil.

Risk Management

Nil.

Financial

People

Nil.

Environmental

Nil.

Social

Nil.

Alignment with Council's Policy and Plans

The proposal meets the Redlands Planning Scheme as outlined in the report.

CONSULTATION

The Planning Assessment Unit consulted with General Counsel Group and relevant Units in the City Planning and Assessment Group.

OPTIONS

The following options are available to Council:

1. That Council resolves to seek settlement of the appeal through a Consent Order of the Court in accordance with the conditions contained within Attachment 4.
2. That Council resolves to seek settlement of the appeal through a Consent Order of the Court in accordance with different or amended conditions.
3. That Council resolves to inform the appellants that it opposes the appeal.

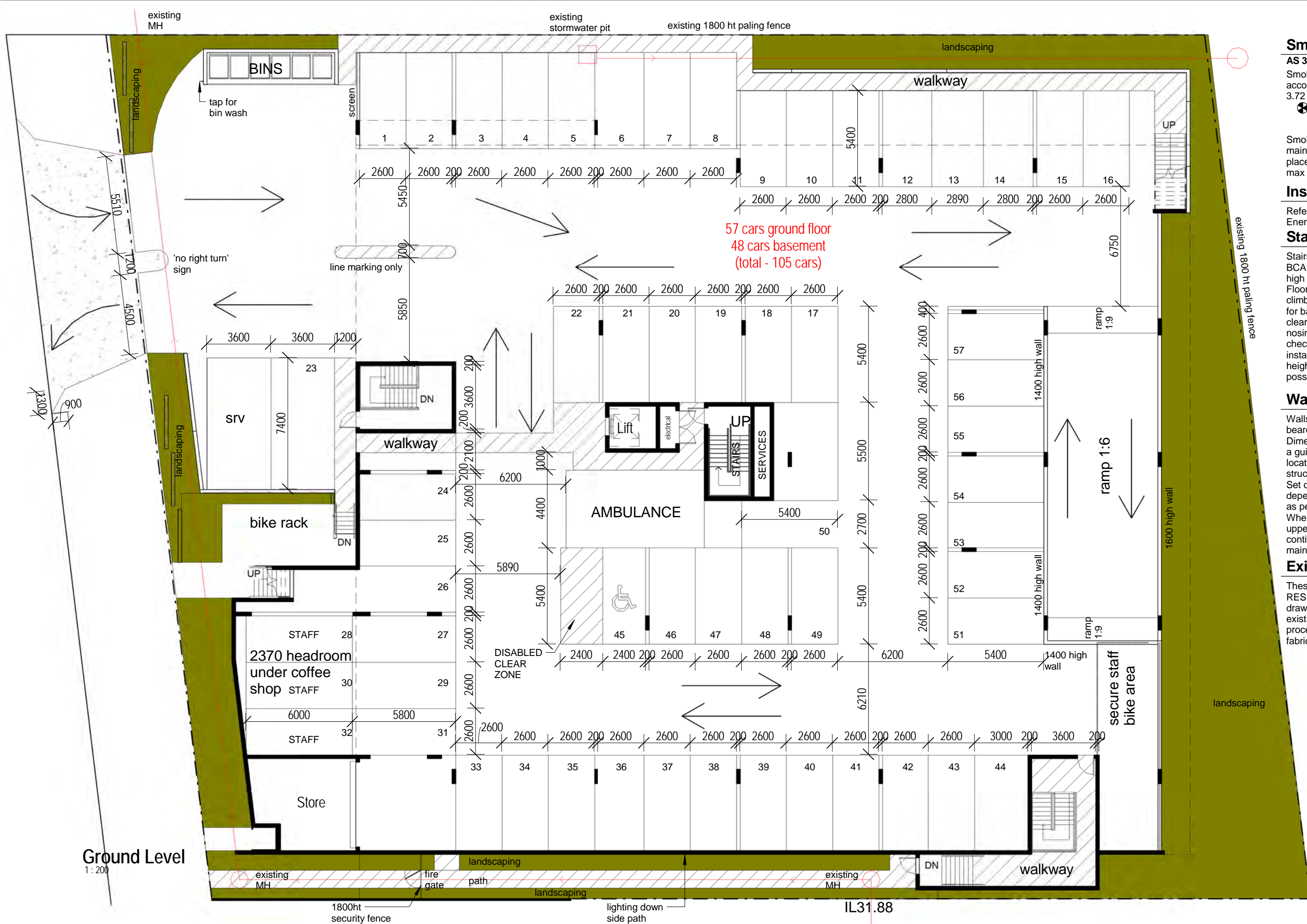
OFFICER'S RECOMMENDATION

That Council resolves to:

1. **Adopt Option 1 presented in this report; and**
2. **Maintain this report and its attachments as confidential until the Appeal is resolved.**

Attachment 1 – Aerial Map





Smoke Detector Note

AS 3786 and BSA Part 3.72
Smoke alarm detectors to be installed in accordance with AS 3786 and BSA Part 3.72
⊗ denotes smoke detector

Smoke detectors must be hard-wired to mains power. Smoke detectors to be placed min 300mm away from wall, and max 3m from each bedroom.

Insulation Note

Refer to specifications listed in the Energy Efficiency report.

Stair Note

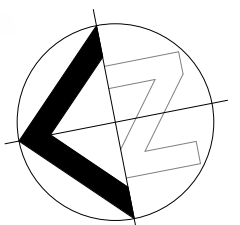
Stairs and balustrades to comply with BCA. Balustrade to be a minimum 1m high with a maximum gap of 125mm. Floors over 4m must not facilitate climbing between 150mm and 760mm for balustrades to stairs. Minimum stair clearance 2.0m measure from toe of nosing. Builder/stair manufacturer to check stair compliance prior to stair installation. If there are issues with height, contact designer as soon as possible.

Wall Location Note (Build-in)

Walls are positioned under existing bearers or in line with new steel posts. Dimensions given are to be treated as a guide only, except where wall location is independent of any existing structural elements. Set out of new slab and walls is dependant on existing upper structure as per above, so adjust as needed. Where external walls sit directly under upper external walls, ensure continuous waterproofing is maintained.

Existing Drawings Note

These plans are based on a measure by RES Solution Design and any existing drawings by others. Builder to cross check existing items and all dimensions prior to proceeding with new construction and or fabrication work.



Ground Level
1:200

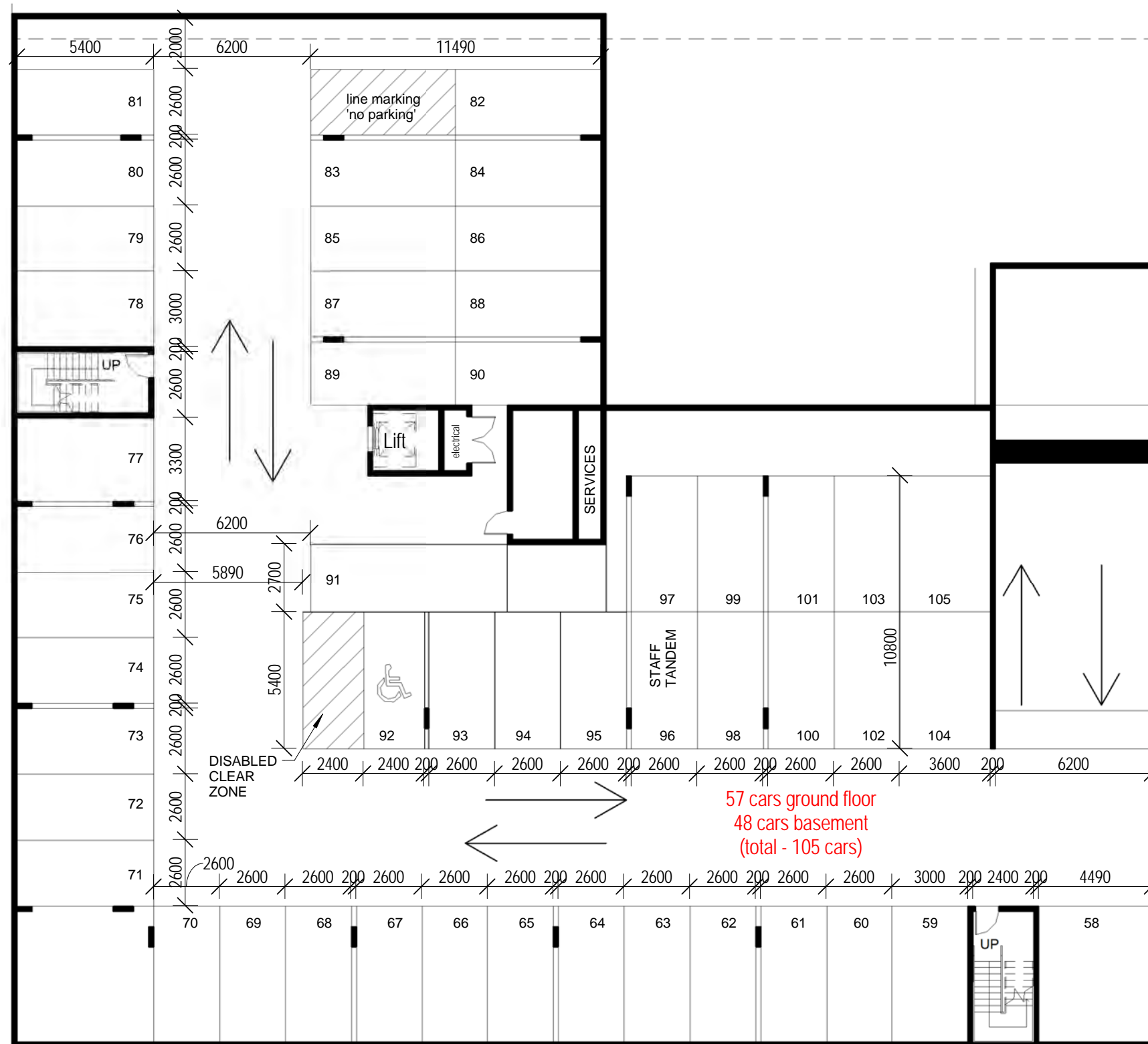
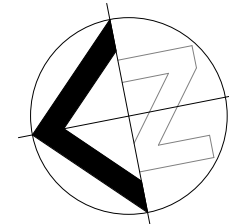
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Real Property Description	Revision	Description	Date	Drawn By
Lot No. : 3 Area: 3004m2	P	Disabled Access Amendments	17.06.15	Rebecca
Plan No. : SP 261562	Q	RFI Drawings	26.08.15	Steven
Parish: Capalaba	R	Amendment	09.10.15	Rebecca
County: Stanley	S	Revised Carparking Additional Basement	12.11.15	Steven
Authority: Brisbane C. C.	T	Revised Carparking Additional Basement	26.11.15	Steven

Project:	Drawing Title:
Wellington Point Health Precinct at 687-689 Old Cleveland Rd East Wellington Point Q, 4160	Ground Floor RFI Drawings

Scale at A3 : 1 : 200	Job No. : 14082
Checked: MMW	Page No: DA04
Wind Rating: N2 (W33N)	Revision: T

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Basement Car Parking
1 : 200

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 W: www.ressolutiondesign.com.au

Real Property Description	Revision	Description	Date	Drawn By
Lot No. : 3 Area: 3004m2	P	Disabled Access Amendments	17.06.15	Rebecca
Plan No. : SP 261562	Q	RFI Drawings	26.08.15	Steven
Parish: Capalaba	R	Amendment	09.10.15	Rebecca
County: Stanley	S	Revised Carparking Additional Basement	12.11.15	Steven
Authority: Brisbane C. C.	T	Revised Carparking Additional Basement	26.11.15	Steven

Project:
 Wellington Point Health Precinct
 at 687-689 Old Cleveland Rd East
 Wellington Point Q, 4160

Drawing Title:
Basement Car Parking
 Project Status:
 RFI Drawings

Scale at A3 : 1 : 200	Job No. : 14082
Checked: MMW	Page No: DA05
Wind Rating: N2 (W33N)	Revision: T

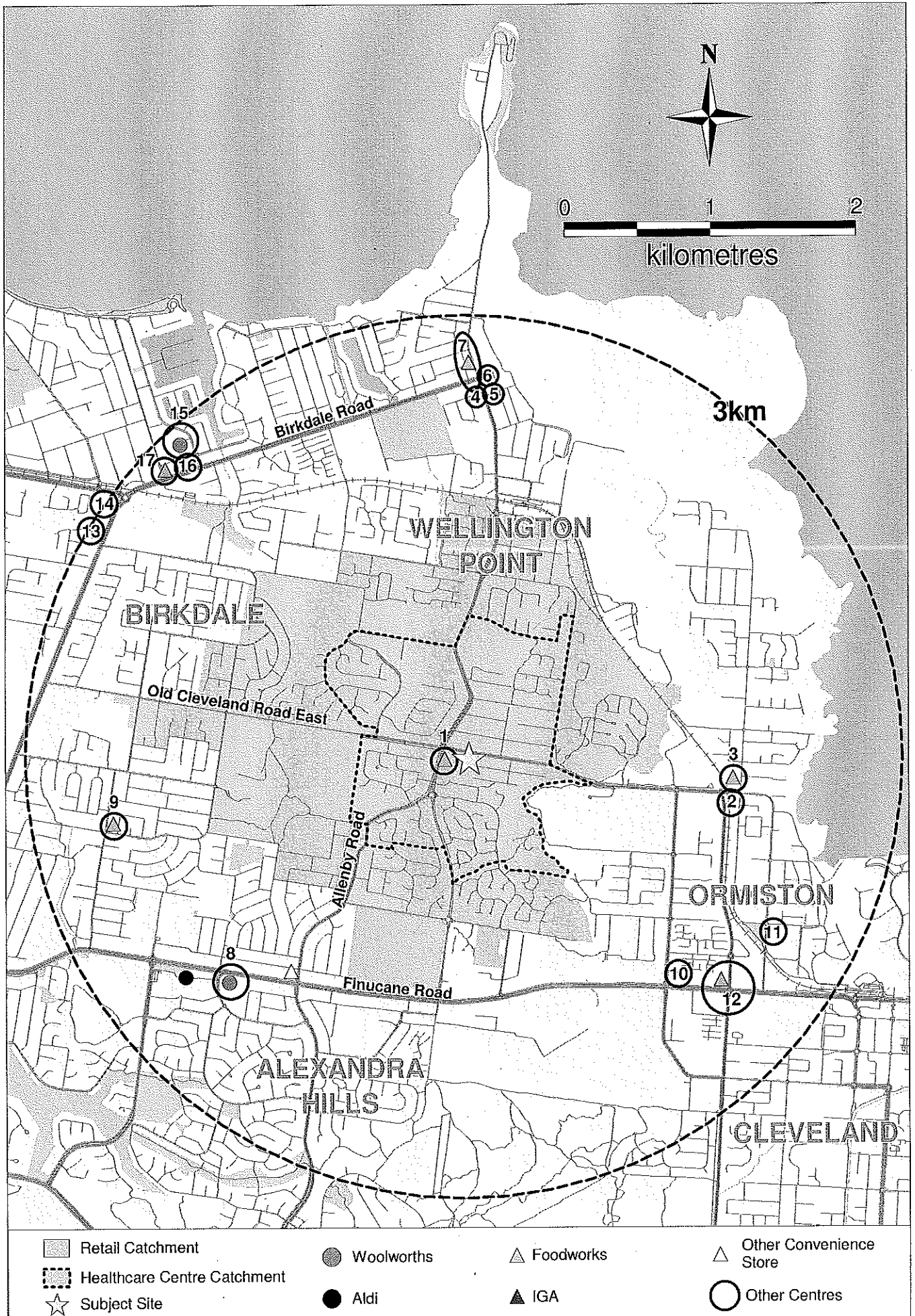
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Appendix 1: Retail and Commercial vacancies in region of subject site

Figure Ref.	Centre Name	Address	Driving Distance from Subject Site (km)	Total Tenancies	Number of Vacancies	Approximate combined area of vacancies
1	Horizon @ Wellington Point	685 Old Cleveland Road East, Wellington Point	-	20	1	123 m ²
2	Ormiston Medical Centre	30 Sturgeon St, Ormiston	2.3	2	-	-
3	Ormiston Shopping Village	116 Wellington St, Ormiston	2.3	10	1	70 m ²
4	Peterson Place	1 Peterson Place, Wellington Point	2.7	7	1	78 m ²
5	Wellington View	401-409 Main Rd, Wellington Point	2.7	5	-	-
6	Wellington on Main	391 Main Rd, Wellington Point	2.8	9	1	73 m ²
7	Wellington Point Main Road Precinct	Main Rd, Wellington Point	2.9	45	3	450 m ²
8	Alexandra Hills Shopping Centre	71 Cambridge Dr, Alexandra Hills	3.0	46	1	150 m ²
9	Bluebell Street Shops	Cnr Bluebell St and Valentine Rd, Alexandra Hills	3.1	8	-	-
10	Shore Street West Shopping Centre	2-20 Shore Street West, Ormiston	3.1	11	-	-
11	Ormiston Central	22-24 Bainbridge St, Ormiston	3.3	6	1	68 m ²
12	Cleveland Bulky Goods precinct	Intersection of Wellington St and Shore St West, Cleveland	3.5	≥40	7	1,501 m ²
13	Birkdale Court	106 Birkdale Rd, Birkdale	3.9	14	3	372 m ²
14	Birkdale Place	120 Birkdale Rd, Birkdale	4.1	22	2	140 m ²
15	Birkdale Fair	2 Mary Pleasant Drive, Birkdale	4.2	18	-	-
16	Aquatic Paradise Centre	190 Birkdale Rd, Birkdale	4.3	13	2	146 m ²
17	Birkdale Village Shopping Centre	180 Birkdale Rd, Birkdale	4.4	11	2	160 m ²

Source: Foresight Partners, 22 June 2015

Appendix 2: Estimated Retail and Healthcare Centre Catchment, and Surrounding Retail Centres



<u>ASSESSMENT MANAGER CONDITIONS</u>	<u>TIMING</u>
1. Comply with all conditions of this approval, at no cost to Council, at the timing periods specified in the right-hand column. Where the column indicates that the condition is an ongoing condition, that condition must be complied with for the life of the development.	
<u>Approved Plans and Documents</u>	
2. Undertake the development in accordance with the approved plans and documents referred to in Table 1, subject to the conditions of this approval and any notations by Council on the plans.	Prior to the use commencing and ongoing.

Plan/Document Title	Reference Number	Prepared By	Plan/Doc. Date
Site Plan (as amended in red)	DA01 Rev T	Res Solution Design	26/11/2015
Ground Floor (as amended in red)	DA04 Rev T	Res Solution Design	26/11/2015
Basement Carparking	DA05 Rev T	Res Solution Design	26/11/2015
First Floor	DA06 Rev T	Res Solution Design	26/11/2015
Second Floor	DA07 Rev T	Res Solution Design	26/11/2015
Sections	DA08 Rev T	Res Solution Design	26/11/2015
Front Elevation	DA09 Rev T	Res Solution Design	26/11/2015
Elevations	DA10 Rev T	Res Solution Design	26/11/2015
Roof Plan	DA11 Rev T	Res Solution Design	26/11/2015
Retaining Wall Heights	DA13 Rev T	Res Solution Design	26/11/2015
Landscape Concept Plan (as amended in red)	SK001/B	Laud Ink	27/08/2015
Functional Road Layout Sketch	SK.01/A	QTraffic Engineering Consultants	22/08/2015
Site Based Stormwater Management Plan	CW14075	Civil Works Engineers	08/04/2015
Traffic Report	022_TPA08_2	QTraffic Engineering Consultants	26/06/2015

Table 1: Approved Plans and Documents

<u>Land Dedication and Design</u>	
3. Demolish or relocate/remove or obtain the relevant approvals for all existing structures on site in accordance with the approved plan(s) and cap all services prior to demolition commencing.	Prior to the use commencing.
4. Locate, design and install outdoor lighting, where required, to minimise the potential for light spillage to cause nuisance to neighbours.	Prior to the use commencing and ongoing.

<p>5. Submit certification to Council from a licensed surveyor, at the stages of building construction listed below, that floor levels and maximum overall height of the building are in accordance with the development approval. All levels must be provided to Australian Height Datum (AHD).</p> <p>a) At completion of the slab level to demonstrate that the building complies with the approved plans at that stage; and</p> <p>b) After completion of the construction of the building but prior to the issue of the Certificate of Classification or Final Building Approval to demonstrate that the highest point of the building complies with the approval.</p>	<p>At the building stages specified in the condition.</p>
<p><u>Access, Roadworks and Parking</u></p>	
<p>6. Provide vehicle parking in accordance with approved plans. The vehicle parking area must include:</p> <ul style="list-style-type: none"> • Two (2) disability parking spaces (space 45 & 92 with shared area, bollard is required to control the access); • 25 staff parking spaces (spaces 27 to 32; 82 to 90; and 96 to 105); • 76 customer parking spaces; • Ambulance space; and • Loading/unloading bay (SRV). <p>Access to car parking spaces, bicycle spaces, bin bays, vehicle loading and manoeuvring areas and driveways must remain unobstructed and available during the approved hours of operation. Loading and unloading operations must be conducted wholly within the site.</p>	<p>Prior to the use commencing and ongoing.</p>
<p>7. Ensure that the number of clients on the premises of the rehabilitation gym is not more than 15 at any one time.</p>	<p>Ongoing.</p>
<p>8. Ensure that all tandem car parks are used only by employees.</p>	<p>Ongoing.</p>
<p>9. Submit to Council for approval, engineering plans and details showing the following frontage works are in accordance with the assessment criteria listed in Table 2: Compliance Assessment of this approval:</p> <p>a) Footpath earthworks, topsoiling and turfing of all disturbed footpath areas;</p> <p>b) Reinstatement of concrete kerb and channel where required;</p> <p>c) Removal of all redundant vehicle crossovers;</p> <p>d) Adjustment and relocations necessary to public utility services resulting from these works;</p> <p>e) Channelized right turn with short slot in accordance with Sketch drawing Sk.01/A, prepared by QTraffic Engineering Consultants, dated 22/08/2015; and</p> <p>f) Street lighting according to the relevant standard.</p>	<p>As part of request for compliance assessment.</p>

Rehabilitation Gym	
10. Operate the Rehabilitation Gym only between 6:00am to 7:00pm Monday to Friday.	Ongoing
11. Operate the Rehabilitation Gym for the purpose of medical rehabilitation only, as required by appointment/referral made through the Health Care Centre.	Ongoing
Compliance Assessment	
12. Submit to Council, and receive approval for, Compliance Assessment for the documents and works referred to in Table 2:	Prior to site works commencing.

Document or Works Item	Compliance Assessor	Assessment Criteria
Landscape Plan	Redland City Council	<ul style="list-style-type: none"> • Redlands Planning Scheme Part 8 Division 8 – Landscape Code • Redlands Planning Scheme Part 8 Division 3 – Centre Design • Redlands Planning Scheme Part 8 Division 10 – Local Centre Zone • Redlands Planning Scheme Part 9 Schedule 9 – Street Trees • Redlands Planning Scheme Part 11 Policy 9 Chapter 2 – Documentation and General Conditions and Chapter 11 – Landscaping • Redlands Planning Scheme Part 11 Policy 16 – Safer by Design
Stormwater Management Plan	Redland City Council	<ul style="list-style-type: none"> • Redlands Planning Scheme Part 8 Division 9 – Stormwater Management Code • Redlands Planning Scheme Part 11 Policy 9 Chapter 2 – Documentation and General Conditions and Chapter 6 – Stormwater Management • Redlands Planning Scheme Part 9 Schedule 11 – Water Quality Objectives • State Planning Policy July 2014 • Queensland Urban Drainage Manual • Australian Standard 3500.3:2003 – Plumbing and Drainage – Stormwater Drainage.
Water and Wastewater Supply and Reticulation	Redland City Council	<ul style="list-style-type: none"> • SEQ Water Supply and Sewerage Design and Construction Code • Redlands Planning Scheme Part 8 Division 7 – Infrastructure Works Code • Redlands Planning Scheme Part 11 Policy 9 Chapter 2 – Documentation and General

		<p>Conditions, Chapter 7 – Water Reticulation and Chapter 8 – Sewerage Reticulation</p> <ul style="list-style-type: none"> • Queensland Development Code MP1.4.
Waste Management Plan	Redland City Council	<ul style="list-style-type: none"> • Redlands Planning Scheme Part 11 Policy 9 Chapter 16 – Waste Management.
Access and Parking Plans	Redland City Council	<ul style="list-style-type: none"> • Redlands Planning Scheme Part 8 Division 1 – Access and Parking Code • Redlands Planning Scheme Part 11 Policy 9 Chapter 2 – Documentation and General Conditions and Chapter 15 – Access and Parking • Australian Standard 2890.1:2004 – Parking Facilities – Off-street car parking • Australian/New Zealand Standard 2890.6:2009 – Parking Facilities – Off-street parking for people with disabilities.
Road and Footpath Works	Redland City Council	<ul style="list-style-type: none"> • Redlands Planning Scheme Part 7 Division 4 – Domestic Driveway Crossover Code • Redlands Planning Scheme Part 8 Division 7 – Infrastructure Works Code • Redlands Planning Scheme Part 11 Policy 9 Chapter 2 – Documentation and General Conditions and Chapter 5 – Road and Path Design.
Sediment and Erosion Control Plan	Redland City Council	<ul style="list-style-type: none"> • Redlands Planning Scheme Part 8 Division 6 – Erosion Prevention and Sediment Control Code • Redlands Planning Scheme Part 11 Policy 9 Chapter 2 – Documentation and General Conditions and Chapter 4 – Erosion Prevention and Sediment Control • Institution of Engineers Australia Erosion and Sediment Control Guidelines.
Earthworks Plans	Redland City Council	<ul style="list-style-type: none"> • Redlands Planning Scheme Part 7 Division 6 – Excavation and Fill Code • Redlands Planning Scheme Part 11 Policy 9 Chapter 2 – Documentation and General Conditions, Chapter 12 – Excavation and Fill • Australian Standard 4678:2002 – Earth-retaining Structures • Australian Standard 3798:2007 – Guidelines on Earthworks for Commercial and Residential

		Development.
Construction Management Plan	Redland City Council	<ul style="list-style-type: none"> • Redlands Planning Scheme Part 11 Policy 9 Chapter 2 – Documentation and General Conditions
Electricity Reticulation Plan	Redland City Council	<ul style="list-style-type: none"> • Redlands Planning Scheme Part 8 Division 7 – Infrastructure Works Code • Redlands Planning Scheme Part 11 Policy 9 Chapter 2 – Documentation and General Conditions and Chapter 9 – Electrical Reticulation and Street Lighting

Table 2: Compliance Assessment

Stormwater Management	
<p>13. Convey roof water and surface water in accordance with the Redlands Planning Scheme Policy 9 Chapter 6 – Stormwater Management to:</p> <ul style="list-style-type: none"> • A lawful point of discharge at the south-east corner of the lot. 	Prior to the use commencing and ongoing.
<p>14. Manage stormwater discharge from the site in accordance with the Redlands Planning Scheme Policy 9 Chapter 6 – Stormwater Management, so as to not cause an actionable nuisance to adjoining properties.</p>	Prior to the use commencing and ongoing.
<p>15. Submit to Council, and receive Compliance Assessment approval for, a stormwater assessment that is generally in accordance with the Site Based Stormwater Management Plan CW14075 by CivilWorks Engineers dated April 2015, that addresses both quality and quantity in accordance with the Redlands Planning Scheme Policy 9 Chapter 6 – Stormwater Management, and the State Planning Policy July 2014, including the following:</p> <ul style="list-style-type: none"> • Detailed design of the internal stormwater system, including catchments, size and levels of structures and pipes and overland flow paths. • Detailed design of the internal stormwater system, diverting all high flow discharged to lawful point of discharge at the south-east corner of the lot. • Detailed drawings of the proposed stormwater quality treatment systems and any associated works. The drawings must include longitudinal and cross sections as well as details of treatment media or devices reference. 	As part of request for compliance assessment.

Infrastructure and Utility Services	
<p>16. Pay the cost of any alterations to existing public utility mains, services or installations due to building and works in relation to the proposed development, or any works required by conditions of this approval. Any cost incurred by Council must be paid at the time the works occur in accordance with the terms of any cost estimate provided to perform the works, or prior to plumbing final or the use commencing, whichever is the sooner.</p>	<p>At the time of works occurring.</p>
<p>17. Connect the development to external reticulated sewer, external reticulated water and underground electricity supply in accordance with the assessment criteria listed in Table 2: Compliance Assessment of this approval.</p>	<p>Prior to the use commencing.</p>
<p>18. Demonstrate that the foundation of the proposed building complies with the Queensland Development Code MP1.4 by not imposing a load on the existing sewer infrastructure.</p>	<p>As part of request for compliance assessment.</p>
<p>19. Remove any redundant sewerage connections within the site or servicing the development and provide documentary evidence to Council or its delegate that this has occurred.</p>	<p>Prior to site works commencing.</p>
Construction	
<p>20. Install erosion and sediment control measures prior to commencement of the civil works, earthworks and construction phases of the development to minimise the export of silts, sediment, soils and associated pollutants from the site. Design, install and maintain the above measures in accordance with the Redlands Planning Scheme Policy 9, Chapter 4 Erosion Prevention and Sediment Control and the Institute of Engineers' Erosion and Sediment Control Guidelines.</p>	<p>Prior to site works commencing.</p>
<p>21. Undertake any required excavation and fill works in accordance with the following:</p> <ul style="list-style-type: none"> a) Design retaining walls/structures to have a minimum design life of 60 years and to be in accordance with Australian Standard 4678:2002 – Earth Retaining Structures (as amended). b) Undertake compaction in accordance with Australian Standard 3798:2007 – Guidelines on earthworks for commercial and residential developments (as amended) and Australian Standard 2870:2011 – Residential Slabs and Footings (as amended). c) Comply with the relevant requirements of the Building Regulations 2006 (as amended) where involving gradients or embankments. 	<p>During construction.</p>
<p>22. Provide temporary drainage during the building construction phase such that discharge from all constructed roofs and paved areas is disposed of to a lawful point of discharge in accordance with the Queensland Urban Drainage Manual</p>	<p>During construction.</p>

(QUDM) Section 3.02 'Lawful Point of Discharge'. Maintain the temporary system for the duration of the building works.	
23. Rectify any damage done to the road verge during construction, including topsoiling and re-turfing.	Prior to the use commencing.
Waste Management	
24. Submit to Council a copy of a written agreement with a waste services provider to provide and maintain a bulk bin collection service to the development.	Prior to the use commencing and ongoing.
25. Install a screened refuse storage area, located as indicated in the approved ground floor plan for the storage of a minimum of 3 bulk bins of 1100L for waste and 3 bulk bins of 1100L for recycle. The storage area must be impervious, well drained, provided with a hose cock, enclosed and illuminated for night time use.	Prior to the use commencing and ongoing.
26. Design, contain and dispose of all clinical and related waste in accordance with the Environmental Protection (Waste Management) Regulation 2000.	Prior to the use commencing and ongoing.
Landscape Works	
<p>27. Submit landscape plans to Council for Compliance Assessment in accordance with the assessment criteria listed in Table 2: Compliance Assessment of this approval. Include the following items:</p> <ul style="list-style-type: none"> • Designs that are generally in accordance approved landscape concept plan. • Details of street tree planting in accordance with the Redlands Planning Scheme Landscape Code with species selected from Schedule 9 of the Redlands Planning Scheme, unless otherwise approved as part of the compliance assessment approval. • A maintenance plan for the entire landscaping component of the development. • Details of lighting to driveways, public car parks and footpaths within the site. • 	As part of request for compliance assessment.

ADDITIONAL APPROVALS

The following further Development Permits and/or Compliance Permits are necessary to allow the development to be carried out.

- Building Works approval.
- Building works – demolition:
 - Provide evidence to Council that a Demolition Permit has been issued for structures that are required to be removed and/or demolished from the site in association with this development. Referral Agency Assessment through Redland City Council is required to undertake the removal works.

Further approvals, other than a Development Permit or Compliance Permit, are also required for your development. This includes, but is not limited to, the following:

- Compliance assessment as detailed in Table 2 of the conditions.
- Plumbing and drainage works.
- Capping of Sewer – for demolition of existing buildings on site.
- Road Opening Permit – for any works proposed within an existing road reserve.
- Food Business Licence – for any development proposing to conduct a food business under the *Food Act 2006*.

ASSESSMENT MANAGER ADVICE

- **Infrastructure Charges**
Infrastructure charges apply to the development in accordance with the State Planning Regulatory Provisions (adopted charges) levied by way of an Infrastructure Charges Notice. The infrastructure charges are contained in the attached Redland City Council Infrastructure Charges Notice.

- **Live Connections**
Redland Water is responsible for all live water and wastewater connections. Contact *must* be made with Redland Water to arrange live works associated with the development.

Further information can be obtained from Redland Water on 1300 015 561.

- **Coastal Processes and Sea Level Rise**
Please be aware that development approvals issued by Redland City Council are based upon current lawful planning provisions which do not necessarily respond immediately to new and developing information on coastal processes and sea level rise. Independent advice about this issue should be sought.

- **Hours of Construction**
Please be aware that you are required to comply with the *Environmental Protection Act* in regards to noise standards and hours of construction.

- **Survey and As-constructed Information**
Upon request, the following information can be supplied by Council to assist survey and engineering consultants to meet the survey requirements:

- a) A map detailing coordinated and/or levelled PSMs adjacent to the site.
- b) A listing of Council (RCC) coordinates for some adjacent coordinated PSMs.
- c) An extract from Department of Natural Resources and Mines SCDM database for each PSM.
- d) Permanent Survey Mark sketch plan copies.

This information can be supplied without charge once Council received a signed declaration from the consultant agreeing to Council's terms and conditions in relation to the use of the supplied information.

Where specific areas within a lot are being set aside for a special purpose, such as building sites or environmental areas, these areas should be defined by covenants. Covenants are registered against the title as per Division 4A of the *Land Title Act 1994*.

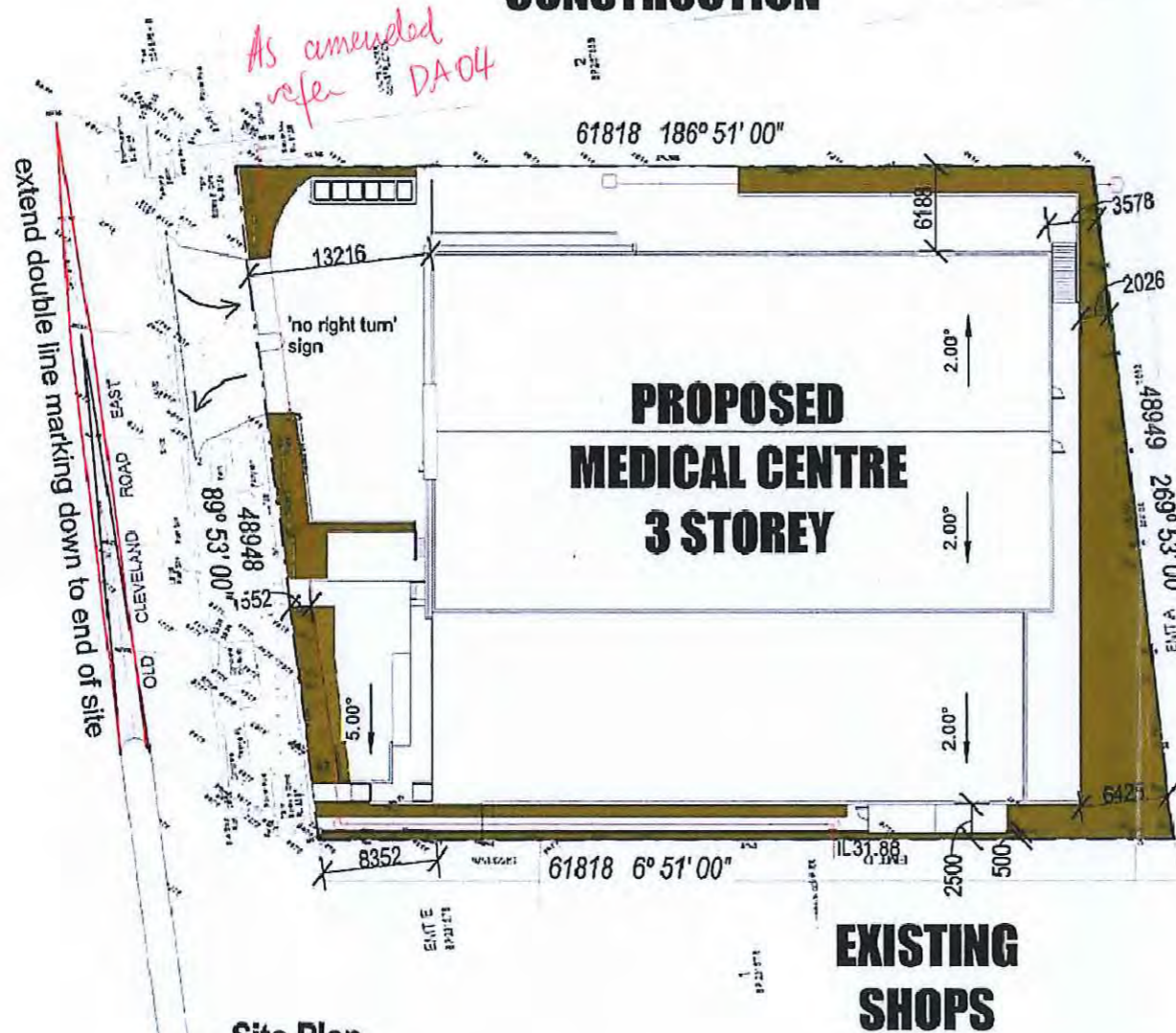
- **Services Installation**
It is recommended that where the installation of services and infrastructure will impact on the location of existing vegetation identified for retention, an experienced and qualified arborist that is a member of the Australian Arborist Association or equivalent association, be commissioned to provide impact reports and on site supervision for these works.

- **Fire Ants**
Areas within Redland City have been identified as having an infestation of the Red Imported Fire Ant (RIFA). It is recommended that you seek advice from the Department of Agriculture, Fisheries and Forestry (DAFF) RIFA Movement Controls in regards to the movement of extracted or waste soil, retaining soil, turf, pot plants, plant material, baled hay/straw, mulch or green waste/fuel into, within and/or out of the City from a property inside a restricted area. Further information can be obtained from the DAFF website www.daff.qld.gov.au
- **Cultural Heritage**
Should any aboriginal, archaeological or historic sites, items or places be identified, located or exposed during the course or construction or operation of the development, the *Aboriginal and Cultural Heritage Act 2003* requires all activities to cease. For indigenous cultural heritage, contact the Department of Environment and Heritage Protection.
- **Fauna Protection**
It is recommended an accurate inspection of all potential wildlife habitats be undertaken prior to removal of any vegetation on site. Wildlife habitat includes trees (canopies and lower trunk) whether living or dead, other living vegetation, piles of discarded vegetation, boulders, disturbed ground surfaces, etc. It is recommended that you seek advice from the Queensland Parks and Wildlife Service if evidence of wildlife is found.
- **Environment Protection and Biodiversity Conservation Act**
Under the Commonwealth Government's *Environment Protection and Biodiversity Conservation Act* (the EPBC Act), a person must not take an action that is likely to have a significant impact on a matter of national environmental significance without Commonwealth approval. Please be aware that the listing of the Koala as vulnerable under this Act may affect your proposal. Penalties for taking such an action without approval are significant. If you think your proposal may have a significant impact on a matter of national environmental significance, or if you are unsure, please contact Environment Australia on 1800 803 772. Further information is available from Environment Australia's website at www.ea.gov.au/epbc

Please note that Commonwealth approval under the EPBC Act is independent of, and will not affect, your application to Council.

Old Cleveland Rd East

TOWN HOUSES UNDER CONSTRUCTION



Site Plan
1:500

TOWN HOUSES UNDER CONSTRUCTION

Stormwater Note

Downpipes to connect to stormwater lines or street. Prior to any excavation or construction on the site, the relevant authority should be contacted for possible location of further underground services.

Data Supply Note

Contours and site data supplied by surveyor. Services shown hereon have been located where possible by survey.

Fire Ant Note

Prior to any removal of soil on site, builder to check fire ant regulation zone.

Services Notes

Location of service items (eg. meter box, gas meter) subject to confirmation of site service pits.

Site Cover

Site Area: 3004 m²
Site Cover: 1845.3 m² = 61.4 %

Landscaping

Site Area: 3004 m²
GFA: 427 m² = 14.2 %

GFA

First Floor GFA	1598 m ²
Coffe Shop GFA	37 m ²
Second Floor GFA	1051 m ²
Grand total	2686 m ²

Site Area: 3004 m²
GFA: 2686 m² = 89.4 %



P 07 3812 5006
E info@spencersurveys.com.au
PO BOX 2382, NORTH IPSWICH Q 4305

Building and Design Notes

Building regulatory legislation as per the Queensland 'Building Act 1975'
Structural sufficiency, safety, health and amenity shall be achieved in accordance with the Building Code of Australia
Timber framing shall be designed and constructed in accordance with A.S. 1684.2 and A/S/ 1684.4 - Non cyclonic areas and A.S. 1684.3 Cyclonic Areas
Masonry construction to comply with BCA Vol.2. Part 3.3 and A.S 3700
Roof and wall cladding and gutters/downpipes to comply with BCA Vol.2. Part 3.5
Position of smoke alarms to comply with BCA Vol.2. Part 3.7.2
Wet areas to comply with BCA Vol.2. Part 3.8.1 and AS 3730
Toilet and bathroom doors to comply with BCA Vol.2. Part 3.8.3.3
Door to sanitaries compartment on the ground floor to be readily openable from the outside
Stair construction and balustrades in accordance with part 3.9 of the bca
All downpipe locations, underground services and stormwater, etc. to be located before construction commences
Light and ventilation in accordance with parts 3.8.4 and 3.8.5 of the bca plus relevant A.S Glazing to be in accordance with AS 1288 & AS 2047 and BCA part 3.6
Shower screens to be installed in accordance with AS 2047 & AS 1288
Sound insulation in accordance with part 3.8.6 of the bca.
Energy efficiency in accordance with part 3.12 of the bca External walls to achieve R2.0, roofs to achieve R2.5
External ground levels adjacent to building shall be in accordance with BCA part 3.3.2.3
All building works to comply with local authorities Erosion and sediment control standards.
Sewer work to be carried out in accordance with local authorities requirements
Glazing to be designed to meet the requirements of AS1288 and AS2047
Exit function door handles to be lever action complying with the requirements of BCA clause D2.21
Fire safety in accordance with part 3.7 of the bca
Provision of fire protection to penetrations for services to comply with BCA clauses C3.12 to C3.16
Provision of fire extinguishers to comply with the requirements of AS 2444
Builder to provide final clearance certificate From local authority.

Site Notes

Contours and levels shown are provided by a Licensed Surveyor
Topography shown is based on an assumed datum point
All survey pegs are to be located prior to earthworks
Surface water to be drained away from dwelling (provide a 1:20 min. fall)
Unless noted otherwise, removal of existing trees and construction of retaining walls, where required, shall be provided by the owner
Maximum batters shall occur as follows:-
(i) cut - 1:1
(ii) fill - 1:2
(iii) vehicular access - 1:4
The working PAD R.L. noted on the site plan shall have a tolerance of up to +/- 100mm

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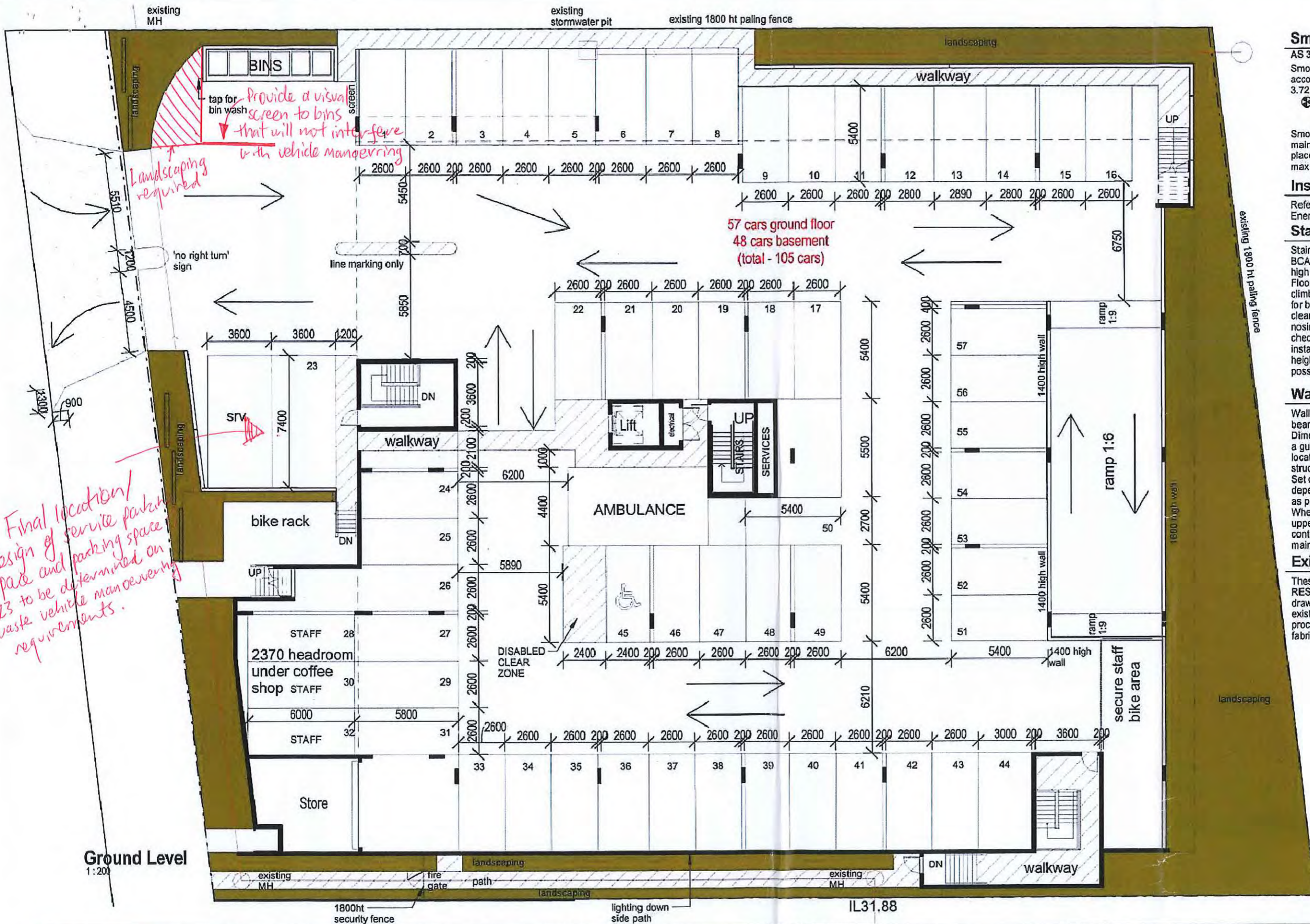
Real Property Description	Revision	Description	Date	Drawn By
Lot No.: 3 Area: 3004m ²	P	Disabled Access Amendments	17.06.15	Rebecca
Plan No.: SP 261562	Q	RFI Drawings	26.08.15	Steven
Parish: Capalaba	R	Amendment	09.10.15	Rebecca
County: Stanley	S	Revised Carparking Additional Basement	12.11.15	Steven
Authority: Brisbane C. C.	T	Revised Carparking Additional Basement	26.11.15	Steven

Project:
Wellington Point Health Precinct
at 687-689 Old Cleveland Rd East
Wellington Point Q, 4160

Drawing Title:
Site Plan
Project Status:
RFI Drawings

Scale at A3: 1:500	Job No.: 14082
Checked: MMW	Page No: DA01
Wind Rating: N2 (W33N)	Revision: T

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Smoke Detector Note

AS 3786 and BSA Part 3.72
Smoke alarm detectors to be installed in accordance with AS 3786 and BSA Part 3.72

⊕ denotes smoke detector

Smoke detectors must be hard-wired to mains power. Smoke detectors to be placed min 300mm away from wall, and max 3m from each bedroom.

Insulation Note

Refer to specifications listed in the Energy Efficiency report.

Stair Note

Stairs and balustrades to comply with BCA. Balustrade to be a minimum 1m high with a maximum gap of 125mm. Floors over 4m must not facilitate climbing between 150mm and 760mm for balustrades to stairs. Minimum stair clearance 2.0m measure from toe of nosing. Builder/stair manufacturer to check stair compliance prior to stair installation. If there are issues with height, contact designer as soon as possible.

Wall Location Note (Build-in)

Walls are positioned under existing bearers or in line with new steel posts. Dimensions given are to be treated as a guide only, except where wall location is independent of any existing structural elements. Set out of new slab and walls is dependant on existing upper structure as per above, so adjust as needed. Where external walls sit directly under upper external walls, ensure continuous waterproofing is maintained.

Existing Drawings Note

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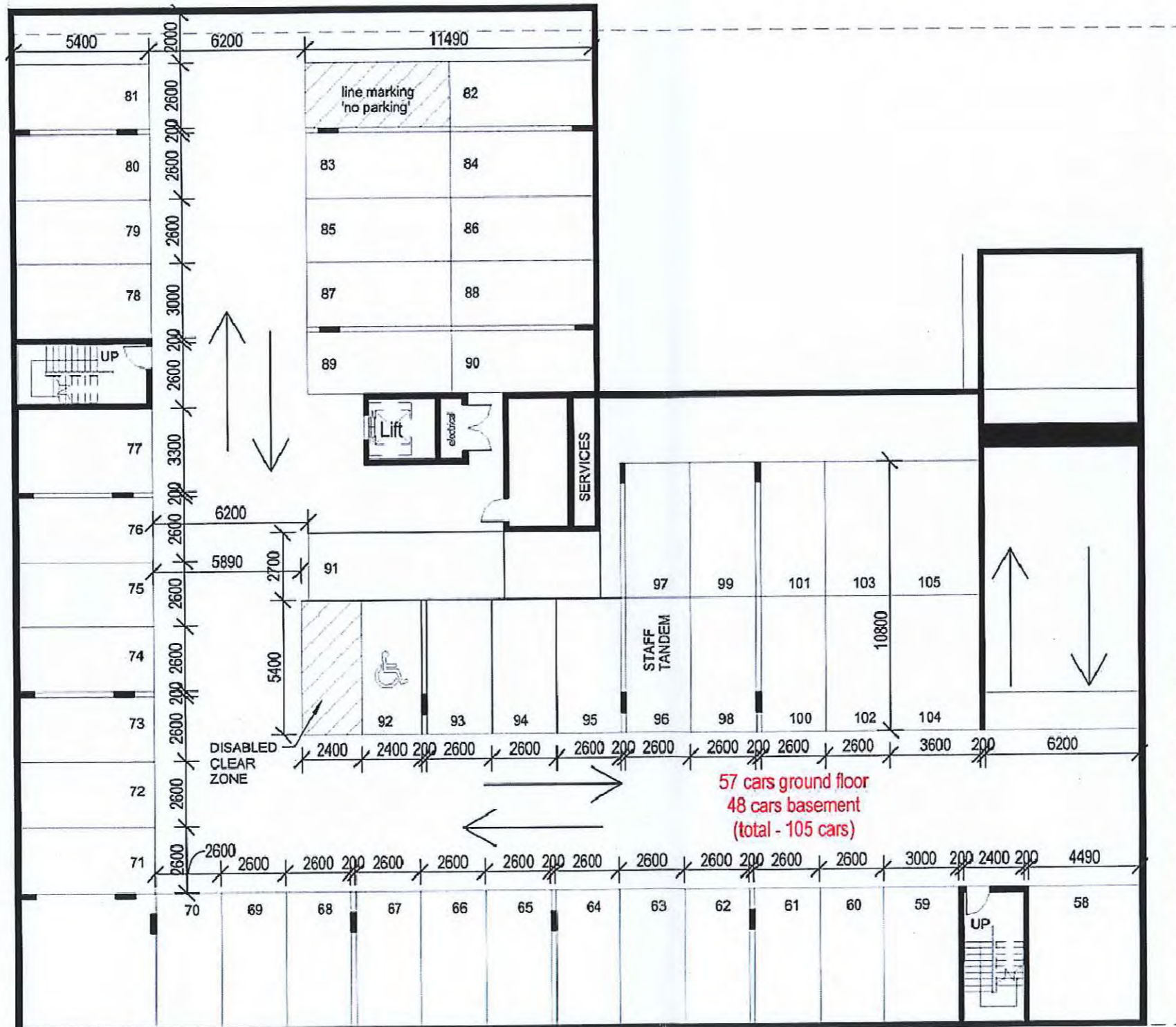
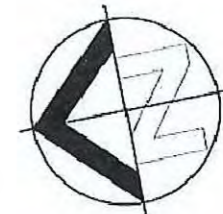
Revision	Description	Date	Drawn By
P	Disabled Access Amendments	17.06.15	Rebecca
Q	RFI Drawings	26.08.15	Steven
R	Amendment	09.10.15	Rebecca
S	Revised Carparking Additional Basement	12.11.15	Steven
T	Revised Carparking Additional Basement	26.11.15	Steven

Project:
 Wellington Point Health Precinct
 at 687-689 Old Cleveland Rd East
 Wellington Point Q, 4160

Drawing Title:
Ground Floor
 Project Status:
 RFI Drawings

Scale at A3 : 1 : 200	Job No. : 14082
Checked: MMW	Page No: DA04
Wind Rating: N2 (W33N)	Revision: T

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Basement Car Parking
1:200

	PO BOX 1213 Wynnum QLD 4178 T: 07 3902 1800	Real Property Description Lot No.: 3 Area: 3004m2 Plan No.: SP 261562 Parish: Capalaba County: Stanley Authority: Brisbane C. C.	Revision P Disabled Access Amendments Q RFI Drawings R Amendment S Revised Carparking Additional Basement T Revised Carparking Additional Basement	Date 17.06.15 26.08.15 09.10.15 12.11.15 26.11.15	Drawn By Rebecca Steven Rebecca Steven Steven	Project: Wellington Point Health Precinct at 687-689 Old Cleveland Rd East Wellington Point Q, 4160	Drawing Title: Basement Car Parking	Scale at A3: 1:200	Job No.: 14082
	E: info@ressolutiondesign.com.au W: www.ressolutiondesign.com.au	Project Status: RFI Drawings	Checked: MMW	Page No.: DA05					
	QBCC No.: 1274859 ABN: 20 163 799 389	Wind Rating: N2 (W33N)	Revision: T						
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Insulation Note

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Stair Note

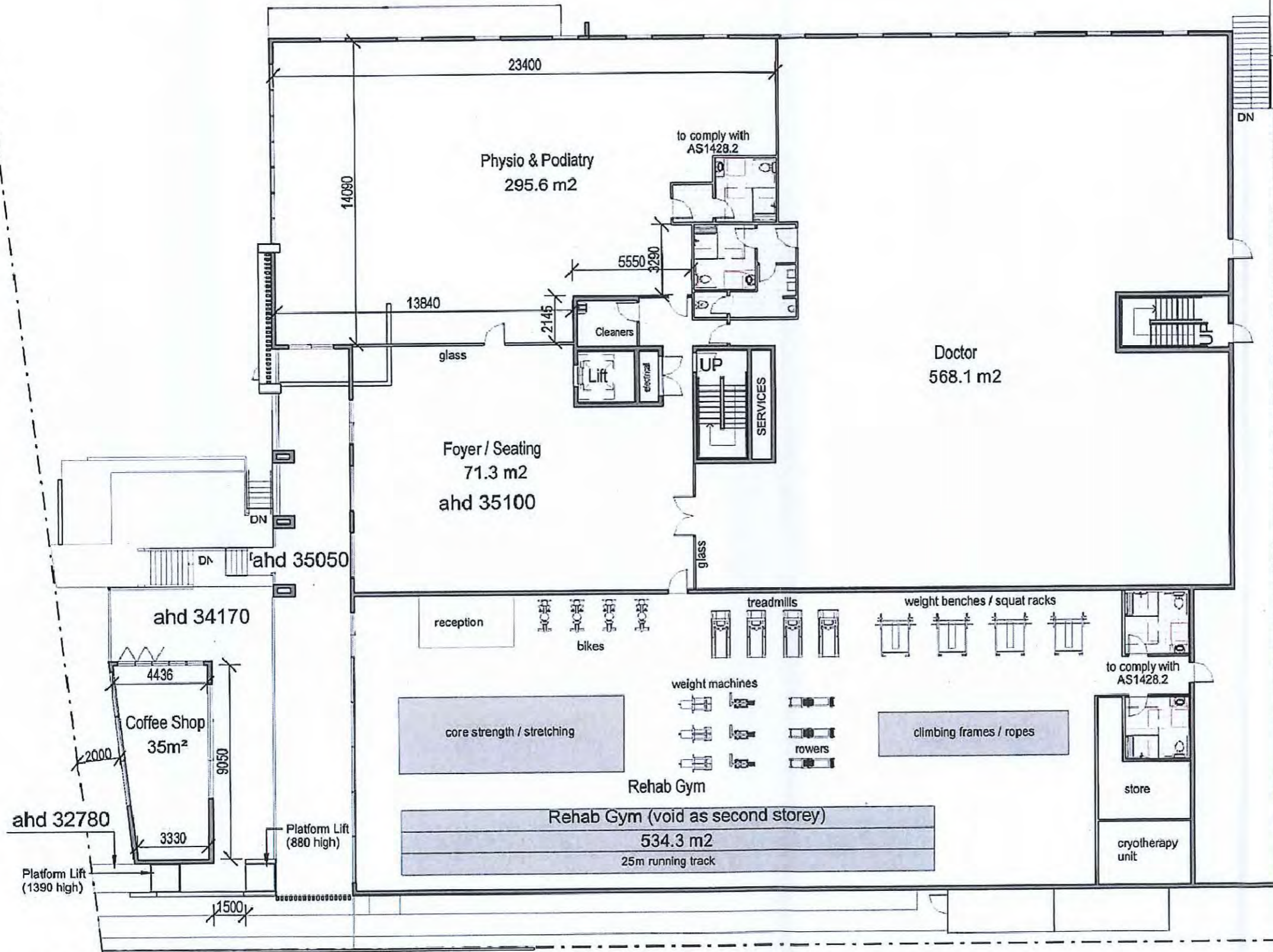
Stairs and balustrades to comply with BCA. Balustrade to be a minimum 1m high with a maximum gap of 125mm. Floors over 4m must not facilitate climbing between 150mm and 760mm for balustrades to stairs. Minimum stair clearance 2.0m measure from toe of nosing. Builder/stair manufacturer to check stair compliance prior to stair installation. If there are issues with height, contact designer as soon as possible.

Wall Location Note (Build-in)

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Existing Drawings Note

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First Level
1:200

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Real Property Description	Revision	Description	Date	Drawn By
Lot No.: 3 Area: 3004m2	P	Disabled Access Amendments	17.06.15	Rebecca
Plan No.: SP 261562	Q	RFI Drawings	26.08.15	Steven
Parish: Capalaba	R	Amendment	09.10.15	Rebecca
County: Stanley	S	Revised Carparking Additional Basement	12.11.15	Steven
Authority: Brisbane C. C.	T	Revised Carparking Additional Basement	26.11.15	Steven

Project:
 Wellington Point Health Precinct
 at 687-689 Old Cleveland Rd East
 Wellington Point Q, 4160

Drawing Title:
First Floor
 Project Status:
 RFI Drawings

Scale at A3: 1:200	Job No.: 14082
Checked: MMW	Page No: DA06
Wind Rating: N2 (W33N)	Revision: T

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Insulation Note

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Stair Note

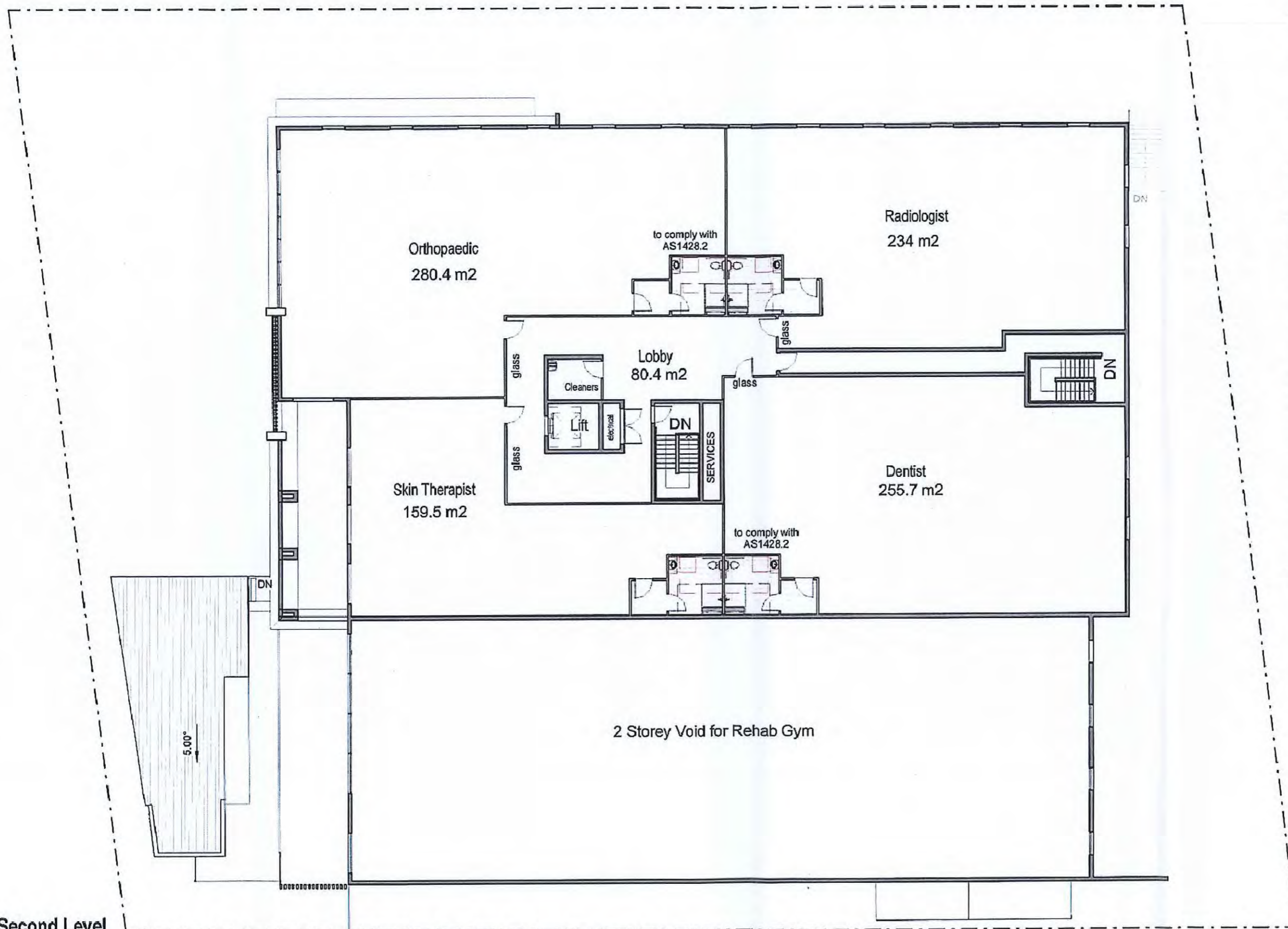
Stairs and balustrades to comply with BCA. Balustrade to be a minimum 1m high with a maximum gap of 125mm. Floors over 4m must not facilitate climbing between 150mm and 760mm for balustrades to stairs. Minimum stair clearance 2.0m measure from toe of nosing. Builder/stair manufacturer to check stair compliance prior to stair installation. If there are issues with height, contact designer as soon as possible.

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Existing Drawings Note

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Second Level
1:200

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Real Property Description	Revision	Description	Date	Drawn By
Lot No.: 3 Area: 3004m2	P	Disabled Access Amendments	17.06.15	Rebecca
Plan No.: SP 261562	Q	RFI Drawings	26.08.15	Steven
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Authority: Brisbane C. C.	T	Revised Carparking Additional Basement	26.11.15	Steven

Project:
Wellington Point Health Precinct
at 687-689 Old Cleveland Rd East
Wellington Point Q, 4160

Drawing Title:
Second Floor
Project Status:
RFI Drawings

Scale at A3: 1:200	Job No.: 14082
Checked: Checker	Page No: DA07
Wind Rating: Designer	Revision: T

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General Cladding Note

All claddings to be fixed as per manufacturer's manual. Refer designer for any queries.

Ceiling/Soffit Fixing Note

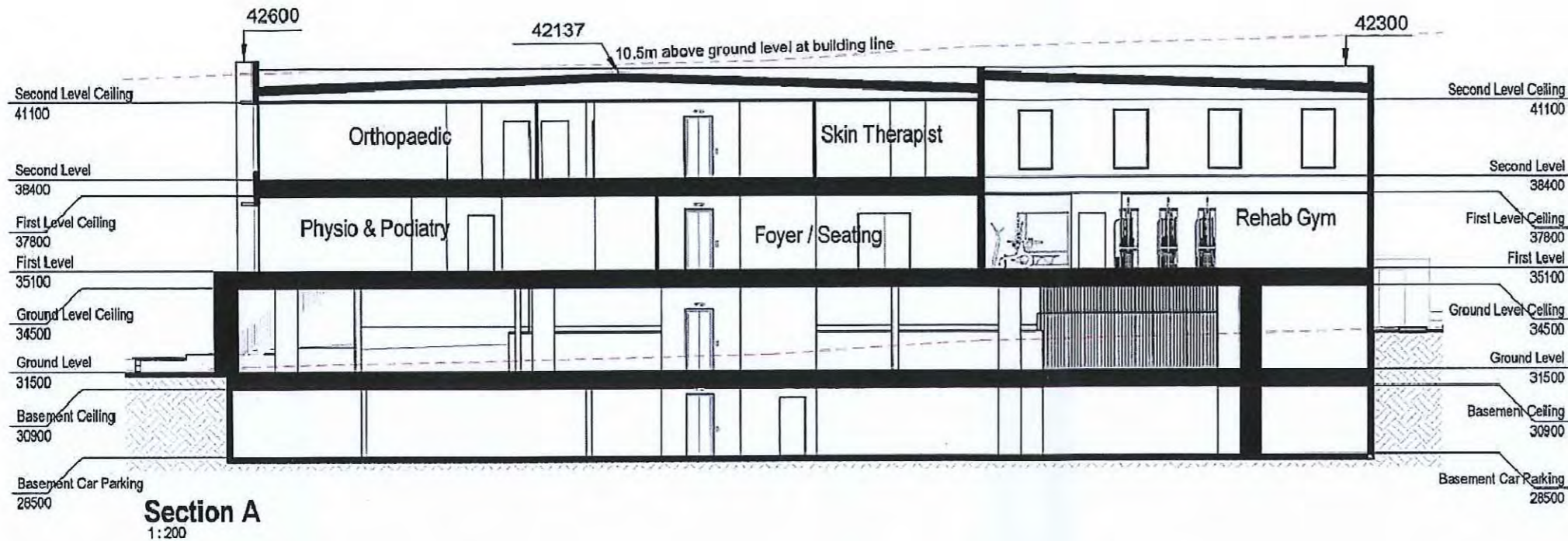
For rafters/trusses at > 600 c/s fix to battens at 600 c/s 32x45 MGP10 or stramit 22x34 ceiling batten or equivalent. For rafters/trusses at 600 c/s fix directly to u/s rafter/truss.

LVL/Softwood Exposure Note:

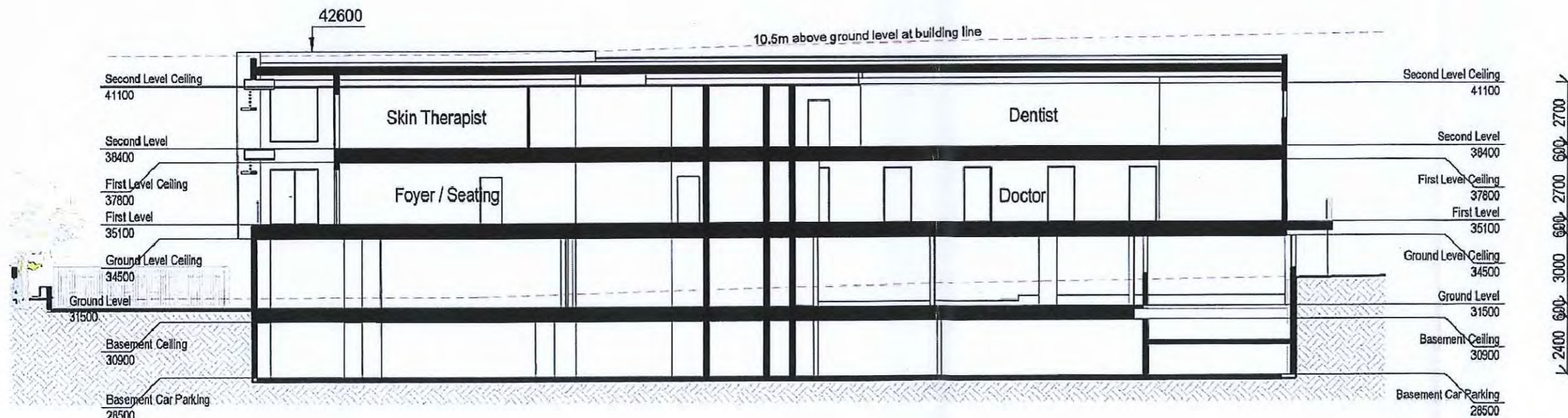
All untreated softwood timbers used in roof framing, are to be fully clad.

Legend

- bl02 190 block wall - rendered and painted
- hr07 powder coat handrail - min 1000 high
- hsm03 hardies scyon matrix 1200 high 1200 wide
- hss02 hardies scyon stria 405 wide pre-primed board with selected paint finish
- kl01 klaplok roof - colorbond finish
- slf strip timber flooring



Section A
1:200



Section B
1:200

SLAB AND FOOTINGS BY ENGINEER

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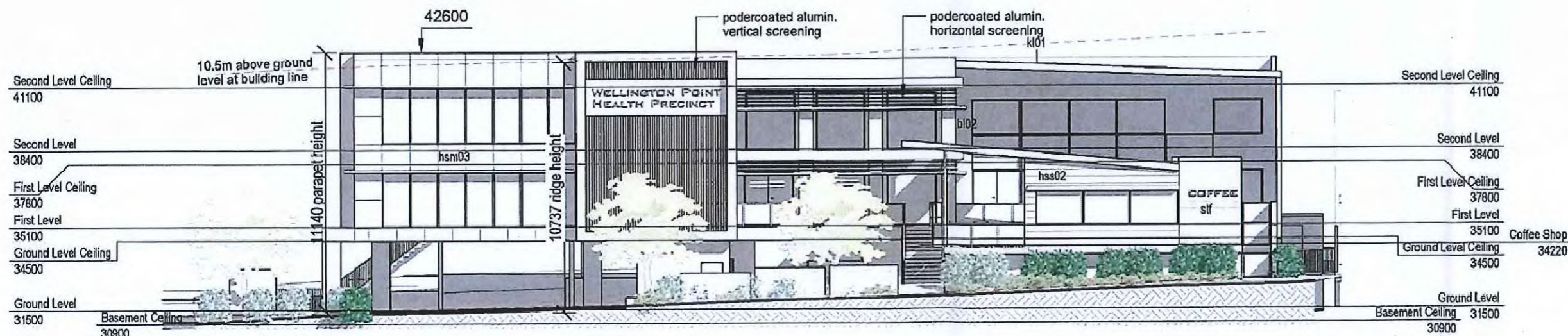
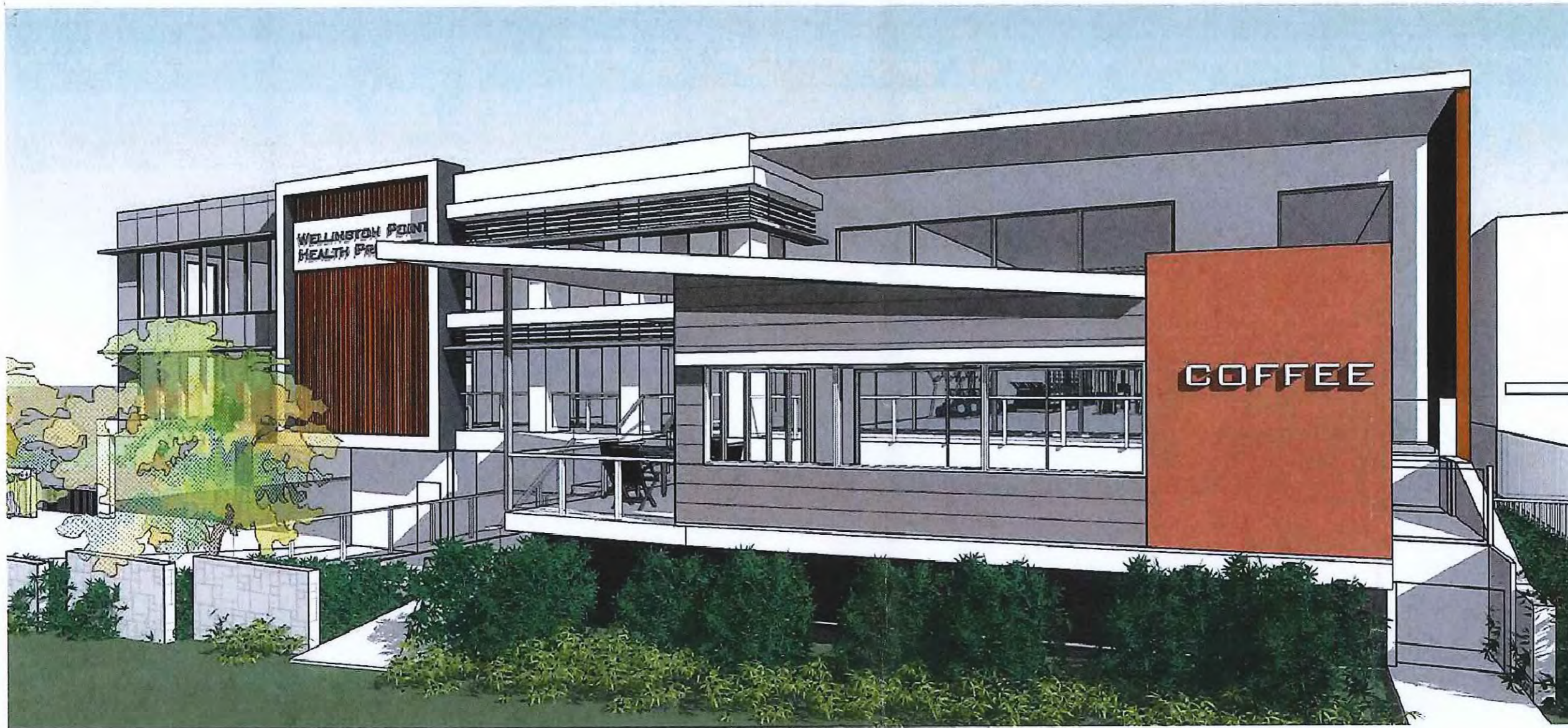
Real Property Description	Revision	Description	Date	Drawn By
Lot No.: 3 Area: 3004m2	P	Disabled Access Amendments	17.06.15	Rebecca
Plan No.: SP 261562	Q	RFI Drawings	26.08.15	Steven
Parish: Capalaba	R	Amendment	09.10.15	Rebecca
County: Stanley	S	Revised Carparking Additional Basement	12.11.15	Steven
Authority: Brisbane C. C.	T	Revised Carparking Additional Basement	26.11.15	Steven

Project:
 Wellington Point Health Precinct
 at 687-689 Old Cleveland Rd East
 Wellington Point Q, 4160

Drawing Title:
Sections
 Project Status:
 RFI Drawings

Scale at A3: 1:200	Job No.: 14082
Checked: MMW	Page No: DA08
Wind Rating: N2 (W33N)	Revision: T

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General Cladding Note

All claddings to be fixed as per manufacturer's manual. Refer designer for any queries.

Legend

- bl02 190 block wall - rendered and painted
- hr07 powder coat handrail - min 1000 high
- hsm03 hardies scyon matrix 1200 high 1200 wide
- hss02 hardies scyon stria 405 wide pre-primed board with selected paint finish
- kl01 kliplok roof - colorbond finish
- stf strip timber flooring

Front Elevation (North)
1 : 200

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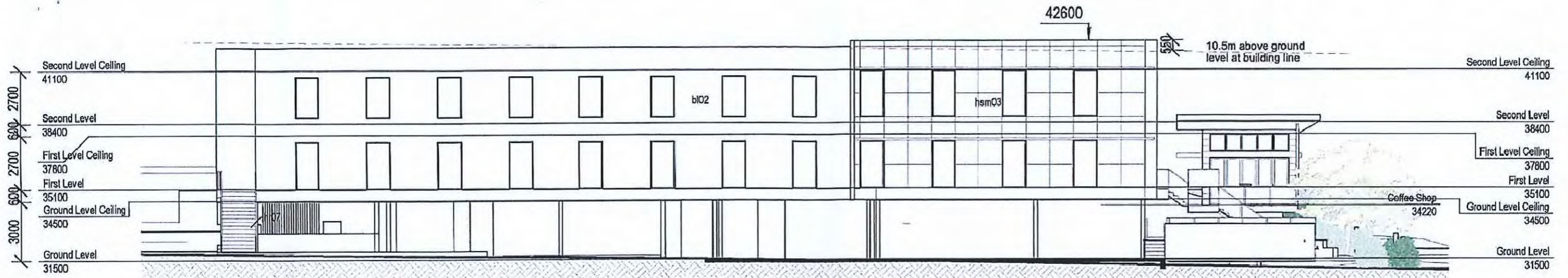
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Lot No.: 3 Area: 3004m ²	P	Disabled Access Amendments	17.06.15	Rebecca Steven
Plan No.: SP 261562	Q	RFI Drawings	26.08.15	Steven
Parish: Capalaba	R	Amendment	09.10.15	Rebecca
County: Stanley	S	Revised Carparking Additional Basement	12.11.15	Steven
Authority: Brisbane C. C.	T	Revised Carparking Additional Basement	26.11.15	Steven

Project:
 Wellington Point Health Precinct
 at 687-689 Old Cleveland Rd East
 Wellington Point Q, 4160

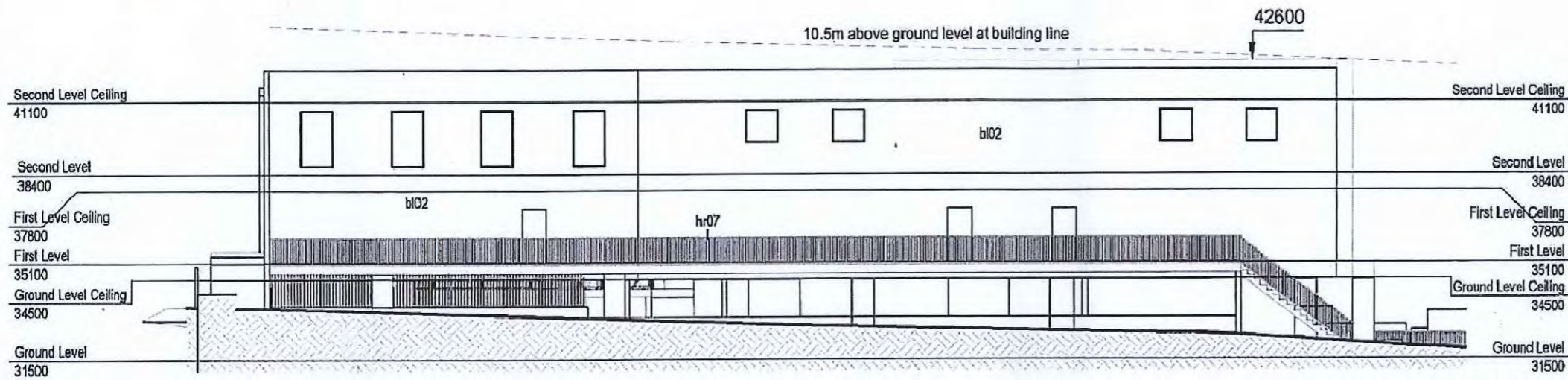
Drawing Title:
Front Elevation
 Project Status:
 RFI Drawings

Scale at A3: 1 : 200	Job No.: 14082
Checked: MMW	Page No: DA09
Wind Rating: N2 (W33N)	Revision: T

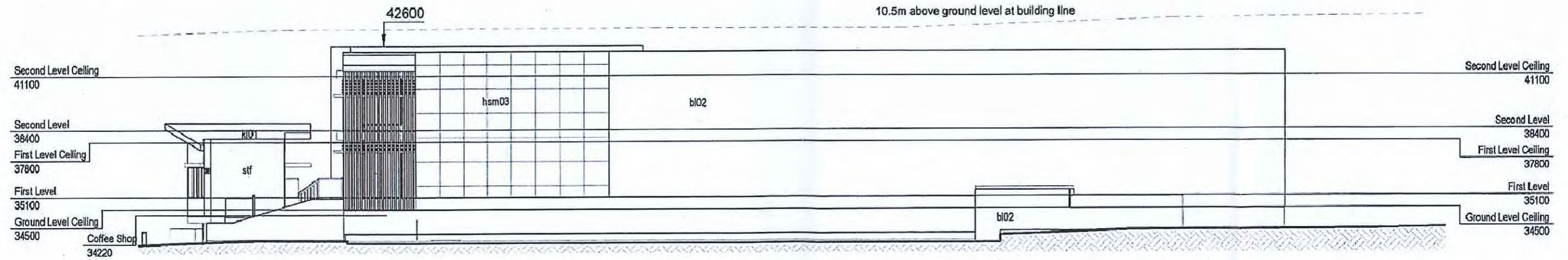
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Left Side Elevation (East)
1:200



Rear Elevation (South)
1:200



Right Side Elevation (West)
1:200

General Cladding Note

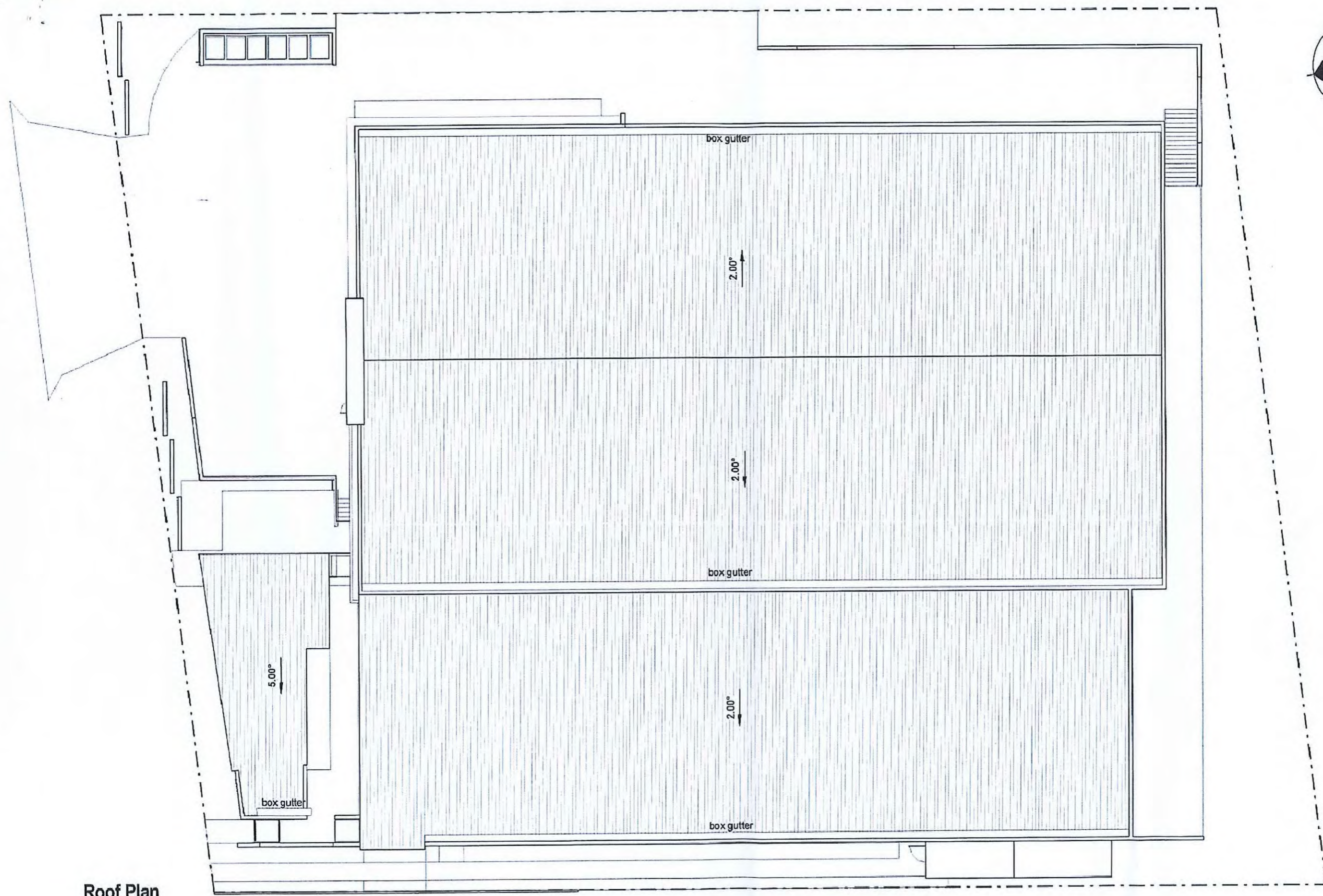
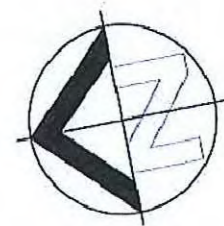
All claddings to be fixed as per manufacturer's manual. Refer designer for any queries.

Legend

- bl02 190 block wall - rendered and painted
- hr07 powder coat handrail - min 1000 high
- hsm03 hardies scyon matrix 1200 high 1200 wide
- hss02 hardies scyon stria 405 wide pre-primed board with selected paint finish
- kl01 Kiplok roof - colorbond finish
- stf strip timber flooring

<p>PO BOX 1213 Wynnum QLD 4178 T: 07 3902 1800</p> <p>E: info@resolutiondesign.com.au W: www.resolutiondesign.com.au</p> <p>QBCC No.: 1274859 ABN: 20 163 799 399</p>	<p>Real Property Description</p> <p>Lot No.: 3 Area: 3004m2</p> <p>Plan No.: SP 261562</p> <p>Parish: Capalaba</p> <p>County: Stanley</p> <p>Authority: Brisbane C. C.</p>	<p>Revision</p> <p>P Disabled Access Amendments</p> <p>Q RFI Drawings</p> <p>R Amendment</p> <p>S Revised Carparking Additional Basement</p> <p>T Revised Carparking Additional Basement</p>	<p>Date</p> <p>17.06.15</p> <p>26.08.15</p> <p>09.10.15</p> <p>12.11.15</p> <p>26.11.15</p>	<p>Drawn By</p> <p>Rebecca</p> <p>Steven</p> <p>Rebecca</p> <p>Steven</p> <p>Steven</p>	<p>Project:</p> <p>Wellington Point Health Precinct</p> <p>at 687-689 Old Cleveland Rd East</p> <p>Wellington Point Q, 4160</p>	<p>Drawing Title:</p> <p>Elevations</p> <p>Project Status:</p> <p>RFI Drawings</p>	<p>Scale at A3:</p> <p>1:200</p> <p>Checked:</p> <p>MMW</p> <p>Wind Rating:</p> <p>N2 (W33N)</p>	<p>Job No.: 14082</p> <p>Page No: DA10</p> <p>Revision: T</p>
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Roof Plan
1:200



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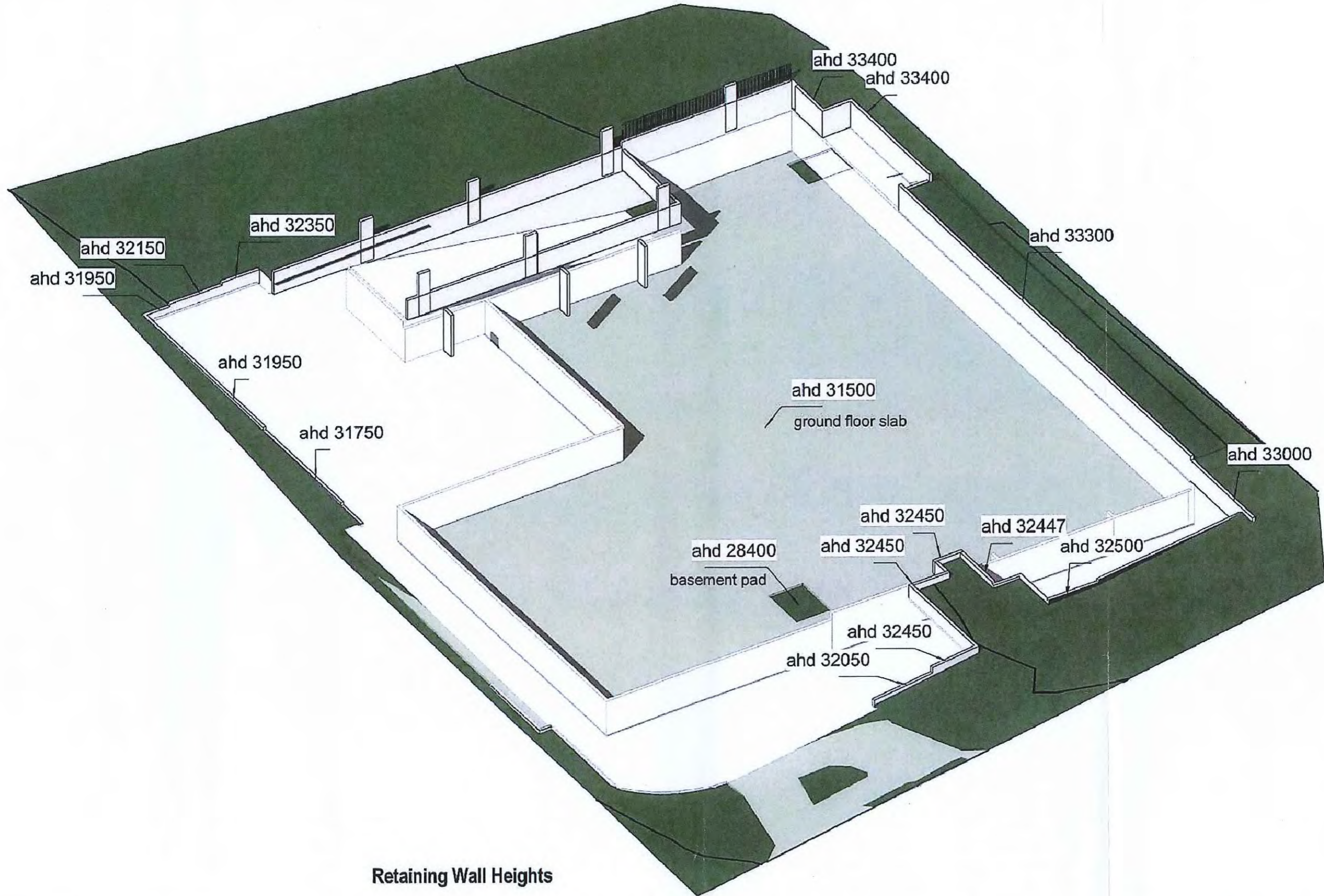
Real Property Description	Revision	Description	Date	Drawn By
Lot No.: 3 Area: 3004m2	P	Disabled Access Amendments	17.06.15	Rebecca
Plan No.: SP 261562	Q	RFI Drawings	26.08.15	Steven
Parish: Capalaba	R	Amendment	09.10.15	Rebecca
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Authority: Brisbane C. C.	T	Revised Carparking Additional Basement	26.11.15	Steven

Project: Wellington Point Health Precinct
at 687-689 Old Cleveland Rd East
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Drawing Title: **Roof Plan**
Project Status: RFI Drawings

Scale at A3: 1:200	Job No.: 14082
Checked: MMW	Page No: DA11
Wind Rating: N2 (W33N)	Revision: T

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Retaining Wall Heights



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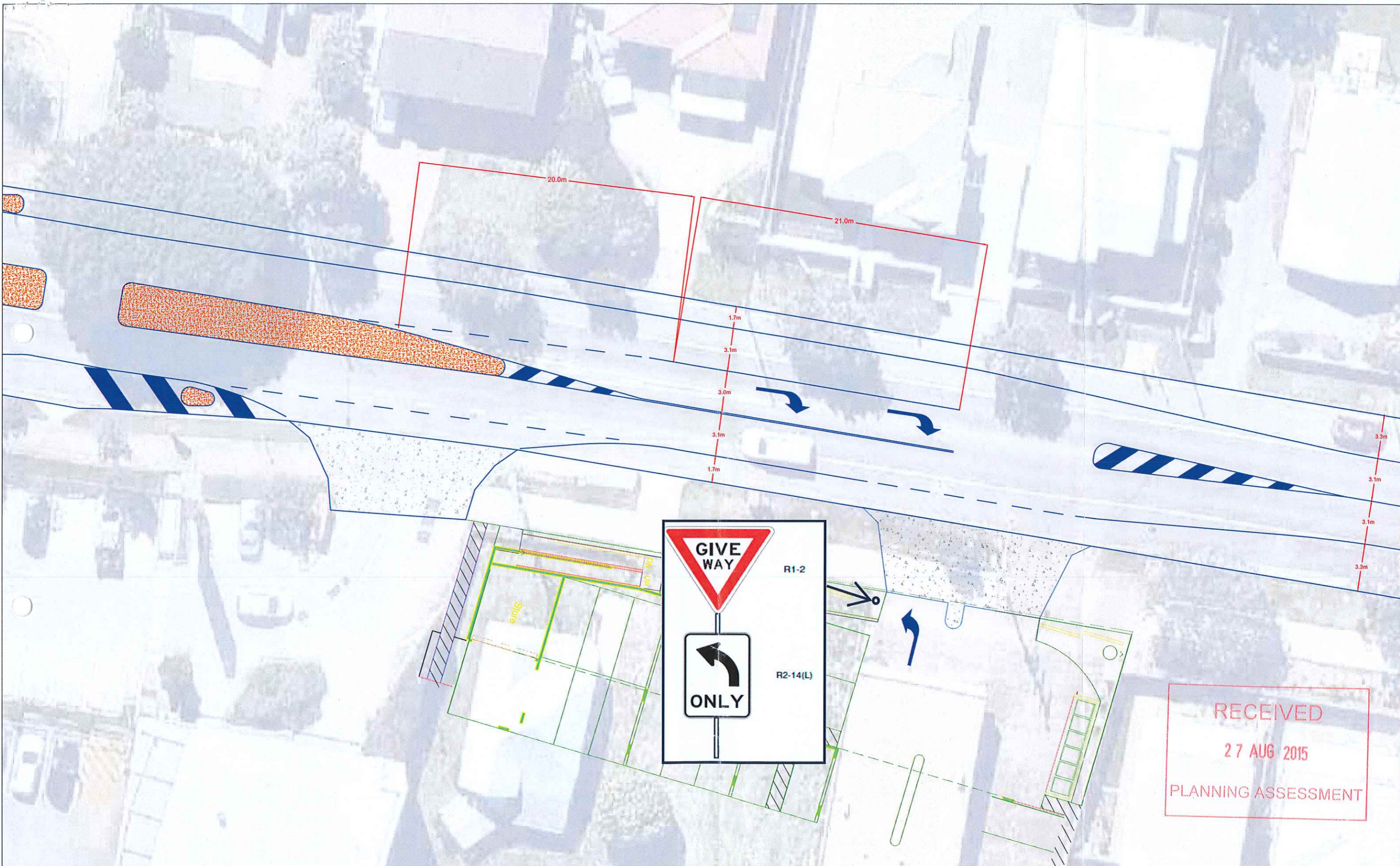
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Lot No.: 3 Area: 3004m ²	P	Disabled Access Amendments	17.06.15	Rebecca
Plan No.: SP 261562	Q	RFI Drawings	26.08.15	Steven
Parish: Capalaba	R	Amendment	09.10.15	Rebecca
County: Stanley	S	Revised Carparking Additional Basement	12.11.15	Steven
Authority: Brisbane C. C.	T	Revised Carparking Additional Basement	26.11.15	Steven

Project:
Wellington Point Health Precinct
at 687-689 Old Cleveland Rd East
Wellington Point Q, 4160

Drawing Title:
Retaining Wall Heights
Project Status:
RFI Drawings

Scale at A3 :	Job No. : 14082
Checked: Checker	Page No: DA13
Wind Rating: Designer	Revision: T

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RECEIVED
 27 AUG 2015
 PLANNING ASSESSMENT

drawing title			
Functional Road Layout Sketch 689 Old Cleveland Rd, Wellington Point			
drawn: RQ	Scale: 1:250 @ A3	date: 22/08/15	
<small>The base drawing is provided to Q Traffic by others. This drawing is submitted for discussion purposes only.</small>			
22_TPA08	SK.01	A	
project no	drawing no	rev	

NOTES

1. REFER ARCHITECTURE AND CIVIL ENGINEERING DESIGN DOCUMENTATION FOR HARD SURFACE FINISH AND LEVEL DETAILS.
2. REFER TO ARCHITECTS DRAWINGS FOR PROPOSED RETAINING WALL / FENCE ALIGNMENT AND FOOTING DETAILS.
3. DEMOLISH AND REMOVE EXISTING VEHICLE DRIVEWAYS LOCATED ON OLD CLEVELAND ROAD AND INSTALL TURF AND PEDESTRIAN FOOTPATH IN ACCORDANCE WITH REDLANDS PLANNING SCHEME (RPS) - VERSION 7 - PART 11 PLANNING SCHEME POLICY - 9 CHAPTER 17 - STANDARD DRG: R-RSC-5.
4. LANDSCAPE DETAILED DESIGN TO BE COORDINATED WITH HYDRAULIC AND ENGINEERING DESIGNERS FOR LOCATIONS OF UNDERGROUND SERVICE TO PREVENT CLASHES.

PLANT SPECIES IMAGES

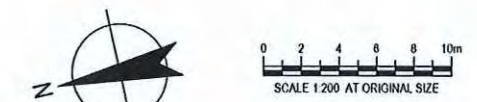


PROPOSED PLANT SPECIES SCHEDULE

PLANT SPECIES	COMMON NAME	CENTRES (mm)	POT SIZE
TREES			
BUCKINGHAMIA celsissima	Ivory Curl Flower	AS SHOWN	45L
ELAEOCARPUS eumundii	Eumundi Quandong	AS SHOWN	45L
WATERHOUSEA floribunda 'Sweeper'	Weeping Lilly Pilly	AS SHOWN	45L
SHRUBS			
ALPINIA zerumbet 'Variegata'	Variegated Shell Ginger	1000	200mm
CALLISTEMON 'Little John'	Dwarf Bottlebrush	750	200mm
CALLISTEMON viminalis 'Captain Cook'	Red Bottlebrush	1500	200mm
SYZYGIUM australe 'Aussie Boomer'	Lilly Pilly	1500	200mm
SYZYGIUM australe 'Bush Christmas'	Lilly Pilly	1500	200mm
GROUNDCOVERS			
LIRIOPE muscari 'Evergreen Giant'	Lily Turf	500	140mm
LIRIOPE 'Stripey White'	Variegated Lily Turf	500	140mm
LOMANDRA hystrix	Mat Rush	750	140mm
MYOPORUM parvifolium 'Fine Leaf'	Creeping Boobialla	750	140mm
GRASS			
CYNODON dactylon	Green Couch		

LEGEND

- EXISTING TREE TO BE REMOVED
- PROPOSED FEATURE TREE
- PROPOSED SHADE TREE
- PROPOSED SHRUB AND LOW LEVEL PLANTING
- PROPOSED BUFFER PLANTING TO BOUNDARY
- PROPOSED GROUNDCOVER PLANTING
- PROPERTY BOUNDARY



PRELIMINARY

rev	description	drawn	date
A	INITIAL ISSUE	EN*	10.04.15

EVERY BODIES PHYSIO PTY LTD
687-689 OLD CLEVELAND ROAD EAST, WELLINGTON POINT
LANDSCAPE CONCEPT PLAN



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scale | 1:200 for A1 job no. | 1503-007
date | APR 2015 rev no. | A

approved J.HULME* **SK001**

Amend as per DAO4

